

# HISTORIC AND DESIGN REVIEW COMMISSION

May 18, 2022

**HDRC CASE NO:** 2022-260  
**ADDRESS:** 255, 259 BRAHAN BLVD; 211, 215 HAYWOOD  
**LEGAL DESCRIPTION:** NCB 3856 (255 BRAHAN {AMENDING}), BLOCK 2 LOT 26 & 27  
**ZONING:** RM-4, H  
**CITY COUNCIL DIST.:** 2  
**DISTRICT:** Westfort Historic District  
**APPLICANT:** Jose Calzada  
**OWNER:** SUN DEVELOPMENT SERVICES LLC  
**TYPE OF WORK:** Revisions to a previously approved design regarding building setbacks  
**APPLICATION RECEIVED:** April 21, 2022  
**60-DAY REVIEW:** Not applicable due to City Council Emergency Orders  
**CASE MANAGER:** Edward Hall

## REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to amend a previously approved site plan for the construction of six (6) residential structures in the Westfort Historic District. The applicant is requesting to amend the previously approved setbacks as a response to feedback from various Development Services Department disciplines, including fire, building, civil and traffic review.

## APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 4, Guidelines for New Construction*

### 1. Building and Entrance Orientation

#### A. FAÇADE ORIENTATION

*i. Setbacks*—Align front facades of new buildings with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Use the median setback of buildings along the street frontage where a variety of setbacks exist. Refer to UDC Article 3, Division 2. Base Zoning Districts for applicable setback requirements.

*ii. Orientation*—Orient the front façade of new buildings to be consistent with the predominant orientation of historic buildings along the street frontage.

#### B. ENTRANCES

*i. Orientation*—Orient primary building entrances, porches, and landings to be consistent with those historically found along the street frontage. Typically, historic building entrances are oriented towards the primary street.

### 2. Building Massing and Form

#### A. SCALE AND MASS

*i. Similar height and scale*—Design new construction so that its height and overall scale are consistent with nearby historic buildings. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. In commercial districts, building height shall conform to the established pattern. If there is no more than a 50% variation in the scale of buildings on the adjacent block faces, then the height of the new building shall not exceed the tallest building on the adjacent block face by more than 10%.

*ii. Transitions*—Utilize step-downs in building height, wall-plane offsets, and other variations in building massing to provide a visual transition when the height of new construction exceeds that of adjacent historic buildings by more than one-half story.

*iii. Foundation and floor heights*—Align foundation and floor-to-floor heights (including porches and balconies) within one foot of floor-to-floor heights on adjacent historic structures.

#### B. ROOF FORM

*i. Similar roof forms*—Incorporate roof forms—pitch, overhangs, and orientation—that are consistent with those

predominantly found on the block. Roof forms on residential building types are typically sloped, while roof forms on nonresidential

building types are more typically flat and screened by an ornamental parapet wall.

*ii. Façade configuration*—The primary façade of new commercial buildings should be in keeping with established patterns. Maintaining horizontal elements within adjacent cap, middle, and base precedents will establish a consistent street wall through the alignment of horizontal parts. Avoid blank walls, particularly on elevations visible from the street. No new façade should exceed 40 linear feet without being penetrated by windows, entryways, or other defined bays.

#### D. LOT COVERAGE

*i. Building to lot ratio*—New construction should be consistent with adjacent historic buildings in terms of the building to lot ratio. Limit the building footprint for new construction to no more than 50 percent of the total lot area, unless adjacent historic buildings establish a precedent with a greater building to lot ratio.

### 3. Materials and Textures

#### A. NEW MATERIALS

*i. Complementary materials*—Use materials that complement the type, color, and texture of materials traditionally found in the district. Materials should not be so dissimilar as to distract from the historic interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding.

*ii. Alternative use of traditional materials*—Consider using traditional materials, such as wood siding, in a new way to provide visual interest in new construction while still ensuring compatibility.

*iii. Roof materials*—Select roof materials that are similar in terms of form, color, and texture to traditionally used in the district.

*iv. Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.

*v. Imitation or synthetic materials*—Do not use vinyl siding, plastic, or corrugated metal sheeting. Contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture. EIFS is not recommended as a substitute for actual stucco.

### 4. Architectural Details

#### A. GENERAL

*i. Historic context*—Design new buildings to reflect their time while respecting the historic context. While new construction should not attempt to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district.

*ii. Architectural details*—Incorporate architectural details that are in keeping with the predominant architectural style along the block face or within the district when one exists. Details should be simple in design and should complement, but not visually compete with, the character of the adjacent historic structures or other historic structures within the district. Architectural details that are more ornate or elaborate than those found within the district are inappropriate.

*iii. Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for new construction. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the structure is new. Modern materials should be implemented in a way that does not distract from the historic structure.

### 5. Garages and Outbuildings

#### A. DESIGN AND CHARACTER

*v. Garage doors*—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.

### 6. Mechanical Equipment and Roof Appurtenances

## A. LOCATION AND SITING

- i. Visibility*—Do not locate utility boxes, air conditioners, rooftop mechanical equipment, skylights, satellite dishes, and other roof appurtenances on primary facades, front-facing roof slopes, in front yards, or in other locations that are clearly visible from the public right-of-way.
- ii. Service Areas*—Locate service areas towards the rear of the site to minimize visibility from the public right-of-way.

## B. SCREENING

- i. Building-mounted equipment*—Paint devices mounted on secondary facades and other exposed hardware, frames, and piping to match the color scheme of the primary structure or screen them with landscaping.
  - ii. Freestanding equipment*—Screen service areas, air conditioning units, and other mechanical equipment from public view using a fence, hedge, or other enclosure.
  - iii. Roof-mounted equipment*—Screen and set back devices mounted on the roof to avoid view from public right-of-way.
- Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

## B. NEW FENCES AND WALLS

- i. Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.
- ii. Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district.  
New front yard fences or wall should not be introduced within historic districts that have not historically had them.
- iii. Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.
- iv. Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.
- v. Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

## 3. Landscape Design

### A. PLANTINGS

- i. Historic Gardens*—Maintain front yard gardens when appropriate within a specific historic district.
- ii. Historic Lawns*—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.
- iii. Native xeric plant materials*—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.
- iv. Plant palettes*—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract from the historic structure.

v. *Maintenance*—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to cause damage.

## B. ROCKS OR HARDSCAPE

i. *Impervious surfaces* —Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.

ii. *Pervious and semi-pervious surfaces*—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.

iii. *Rock mulch and gravel* - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

## D. TREES

i. *Preservation*—Preserve and protect from damage existing mature trees and heritage trees. See UDC Section 35-523 (Tree Preservation) for specific requirements.

ii. *New Trees* – Select new trees based on site conditions. Avoid planting new trees in locations that could potentially cause damage to a historic structure or other historic elements. Species selection and planting procedure should be done in accordance with guidance from the City Arborist.

## 5. Sidewalks, Walkways, Driveways, and Curbing

### A. SIDEWALKS AND WALKWAYS

i. *Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.

ii. *Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.

iii. *Width and alignment*—Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.

iv. *Stamped concrete*—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.

v. *ADA compliance*—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

### B. DRIVEWAYS

i. *Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives.

Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.

ii. *Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

## 7. Off-Street Parking

### A. LOCATION

i. *Preferred location*—Place parking areas for non-residential and mixed-use structures at the rear of the site, behind primary structures to hide them from the public right-of-way. On corner lots, place parking areas behind the primary structure and set them back as far as possible from the side streets. Parking areas to the side of the primary structure are acceptable when location behind the structure is not feasible. See UDC Section 35-310 for district-specific standards.

ii. *Front*—Do not add off-street parking areas within the front yard setback as to not disrupt the continuity of the streetscape.

iii. *Access*—Design off-street parking areas to be accessed from alleys or secondary streets rather than from principal streets whenever possible.



## B. DESIGN

i. *Screening*—Screen off-street parking areas with a landscape buffer, wall, or ornamental fence two to four feet high—or a combination of these methods. Landscape buffers are preferred due to their ability to absorb carbon dioxide. See UDC Section 35-510 for buffer requirements.

ii. *Materials*—Use permeable parking surfaces when possible to reduce run-off and flooding. See UDC Section 35-526(j) for specific standards.

iii. *Parking structures*—Design new parking structures to be similar in scale, materials, and rhythm of the surrounding historic district when new parking structures are necessary.

### *Standard Specifications for Windows in Additions and New Construction*

Consistent with the Historic Design Guidelines, the following recommendations are made for windows to be used in new construction:

- **GENERAL:** Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. While no material is expressly prohibited by the Historic Design Guidelines, a high quality wood or aluminum-clad wood window product often meets the Guidelines with the stipulations listed below.
- **SIZE:** Windows should feature traditional dimensions and proportions as found within the district.
- **SASH:** Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- **DEPTH:** There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. All windows should be supplied in a block frame and exclude nailing fins which limit the ability to sufficiently recess the windows.
- **TRIM:** Window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail.
- **GLAZING:** Windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature true, exterior muntins.
- **COLOR:** Wood windows should feature a painted finish. If a clad or non-wood product is approved, white or metallic manufacturer's color is not allowed and color selection must be presented to staff.

## FINDINGS:

- a. The applicant is requesting a Certificate of Appropriateness for approval to amend a previously approved site plan for the construction of six (6) residential structures in the Westfort Historic District. The applicant is requesting to amend the previously approved setbacks as a response to feedback from various Development Services Department disciplines, including fire, building, civil and traffic review. Additionally, it was determined through the development of a property survey that the alley's current location is encroaching onto the lot.
- b. **PREVIOUS APPROVAL** – The applicant received final approval from the Historic and Design Review Commission on April 7, 2021, with the following stipulations:
  - i. That all siding should feature a four (4) inch exposure, a thickness of ¾", mitered corners (or corner trim) and a smooth finish. Columns should be six inches square. Standing seam metal roofs should feature smooth panels that are 18 to 21 inches wide, seams that are 1 to 2 inches in height, a crimped ridge seam or a low profile ridge cap and a standard galvalume color.
  - ii. That all wood windows meet staff's standards for windows in new construction, as noted in finding m and in the applicable citations.
  - iii. That all mechanical equipment is screened from view at the public right of way.
  - iv. That a detailed landscaping plan be submitted to OHP staff for review and approval.
- c. **FRONT SETBACK MODIFICATIONS** – The applicant has proposed to amend the previously approved setbacks as follows:
  - Unit C/3 – reduction in setback from Haywood Avenue from 11' – 3" to 10' – 0".
  - Unit C/4 – A reduction in setback from Haywood Avenue from 11' – 3" to 10' – 0".

Previously, the applicant noted that each setback for proposed new construction on Haywood Avenue would feature a setback that is greater than the front setbacks found historically on site. Staff finds that a modification

in front setback for the proposed new construction may be appropriate provided that the front setbacks remain greater than the side setback of the historic structure addressed as 262 Army.

- b. REAR/WEST SETBACK MODIFICATIONS – The applicant has proposed to amend the previously approved setbacks as follows:

- Garage Unit C/3 – A decrease in rear setback from 20' to 18'.
- Garage Unit C/4 – A decrease in rear setback from 20' to 18'.

Generally, staff finds the proposed modified rear setback for the two garage units to be appropriate.

- d. BUILDING SPACING MODIFICATIONS – The applicant has proposed to amend the previously approved building spacing as follows:

- Garage Unit C/3 and Unit C/4 – An increase in separation from 7' – 11" to 10' – 0".
- Garage Unit C/4 and Unit C/4 – An increase in separation from 7' – 11" to 10' – 0".

Generally, staff finds the proposed increase in building spacing to be appropriate.

## **RECOMMENDATION:**

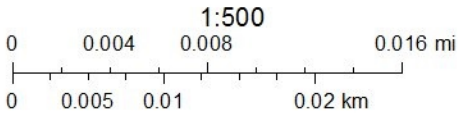
Staff recommends approval of the proposed modifications to the previously approved setbacks and building spacing based on findings a through d with the following stipulations:

- i. That the front setbacks of Units C/3 and C/4 remain greater than the side setback of the primary historic structure addressed as 262 Army.
- ii. That all other stipulations of approval, as noted in finding b, are followed.

City of San Antonio One Stop



May 12, 2022





## ARCHITECTURA SA

ARCHITECTURE W INTERIOR DESIGN W CONSULTANTS

17038 Redland Rd. Suite 101

San Antonio, Texas 78247

t 210 . 384 . 8200

t 866 . 583 . 0968

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May 2, 2022

To: City Of San Antonio  
Development Services Department  
Plans and Permits Section  
1901 S. Alamo St.  
San Antonio, TX 78204

Project: 255 Brahan Residential Units- Site Work  
Location: 255 Brahan, San Antonio, TX 78215  
AP No: COM-PRJ-APP22-39801107

Development Services,

In regards to the Site Work Only Permit application currently pending for 255 Brahan Residential Units, it is requested for deferment of irrigation and landscape under Permit # COM-PRJ-APP22-39801107. This letter was prepared in response to Rosa Garcia who performed the landscape and irrigation review for this permit applicaiton.

Respectfully,

Jose Calzada, A.I.A.  
Architectura SA, Inc.



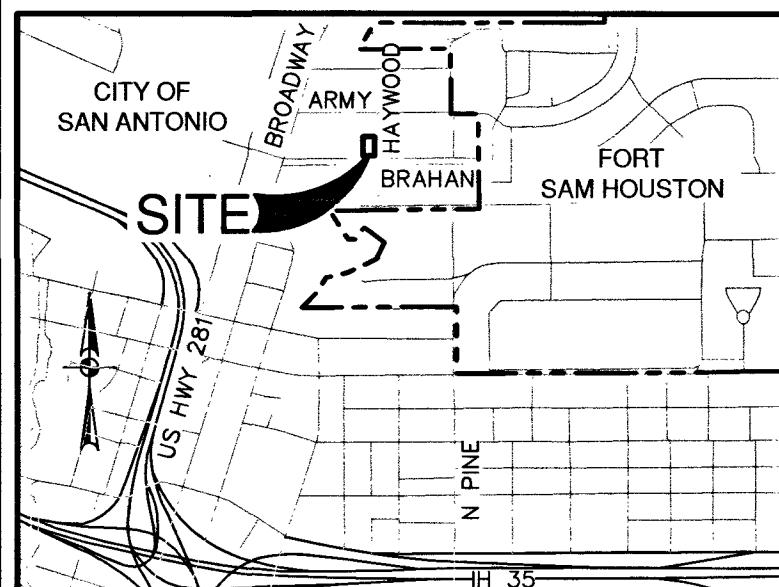
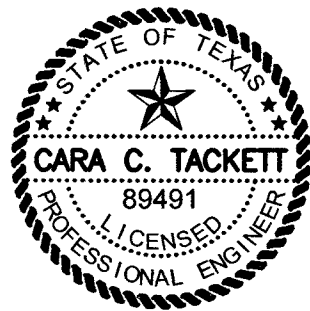


RECORDING MEMORANDUM  
AT THE TIME OF RECORDATION, THIS  
INSTRUMENT WAS FOUND TO BE INADEQUATE  
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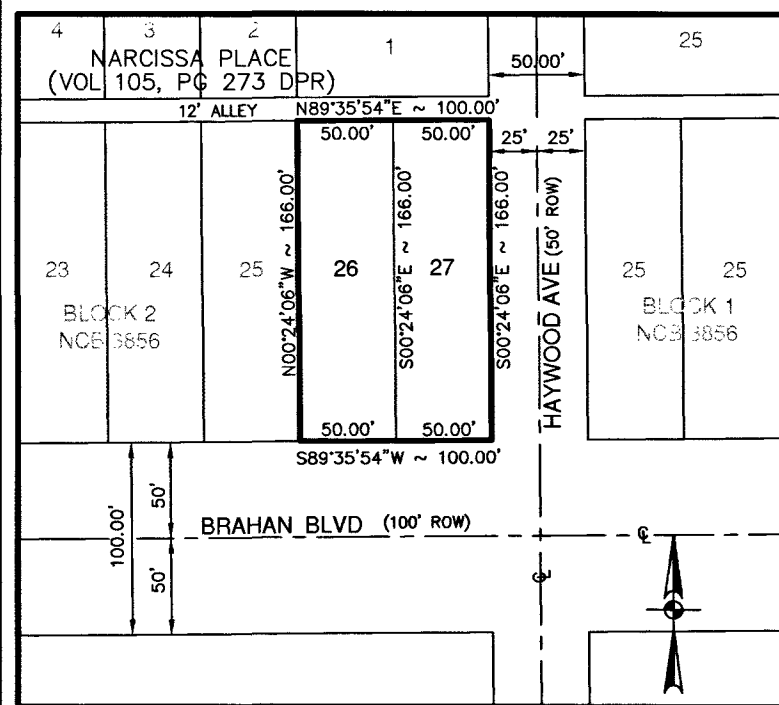
Doc# 20170034761 Fees: \$82.00  
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Public Records of BEXAR COUNTY  
GERARD C. RICKHOFF COUNTY CLERK

Book 9712 Page 156 3pgs

P12-20170034761-3



LOCATION MAP  
NOT-TO-SCALE



AREA BEING AMENDED  
SCALE: 1"= 100'

0.381 OF AN ACRE BEING AMENDED WAS PREVIOUSLY PLATTED AS LOT 26 & 27, BLOCK 2, NEW CITY BLOCK 3856 OF THE NARCISSE PLACE SUBDIVISION, CITY OF ANTONIO, TEXAS PREVIOUSLY RECORDED IN VOLUME 105, PAGE 273 OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS.

### REASON FOR AMENDING:

SECTION 35-441 (a)(9):  
TO RELOCATE ONE (1) OR MORE LOT LINES BETWEEN ONE (1) OR MORE ADJACENT LOTS IF:  
(A) THE OWNERS OF ALL THOSE LOTS JOIN IN THE APPLICATION FOR AMENDING THE PLAT;  
(B) THE AMENDMENT DOES NOT ATTEMPT TO REMOVE RECORDED COVENANTS OR RESTRICTIONS;  
(C) THE AMENDMENT DOES NOT INCREASE THE NUMBER OF LOTS;

### AMENDMENTS ARE AS FOLLOWS:

1. THE LOCATION AND DISTANCE OF THE LOT LINE BETWEEN LOT 26 & 27, BLOCK 2, NCB 3856 CHANGED FROM S00°24'06"E ~ 166.00' TO S00°24'06"E ~ 68.03', N89°35'54"E ~ 4.67' AND S00°24'06"E ~ 97.97'.
2. THE REAR LOT LINE DISTANCE CHANGED FROM 50.00' TO 40.00' FOR LOT 26 AND 50.00' TO 60.00' FOR LOT 27, BLOCK 2, NCB 3856.
3. THE FRONT LOT LINE DISTANCE CHANGED FROM 50.00' TO 44.67' FOR LOT 26 AND 50.00' TO 55.33' FOR LOT 27, BLOCK 2, NCB 3856.
4. ADD 10' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT ALONG THE RIGHT OF WAYS.

### SURVEYOR'S NOTES:

1. PROPERTY CORNERS ARE MONUMENTED WITH CAP OR DISK MARKED "PAPE-DAWSON" UNLESS NOTED OTHERWISE.
2. COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NAD2011) EPOCH 2010.00 FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE DISPLAYED IN GRID VALUES DERIVED FROM THE NGS COOPERATIVE CORS NETWORK.
3. DIMENSIONS SHOWN ARE SURFACE.
4. BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NAD2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.

STATE OF TEXAS  
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

STATE OF TEXAS  
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

*G.E. Buchanan*  
REGISTERED PROFESSIONAL LAND SURVEYOR

### C.P.S. NOTES:

1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC AND GAS SYSTEM (CITY PUBLIC SERVICE BOARD) IS HEREBY DEDICATED THE EASEMENTS AND RIGHTS-OF-WAY FOR ELECTRIC AND GAS DISTRIBUTION AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "GAS EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," AND "TRANSFORMER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING POLES, HANGING OR BURYING WIRES, CABLES, CONDUITS, PIPELINES OR TRANSFORMERS, EACH WITH ITS NECESSARY APPURTENANCES TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LAND, THE RIGHT TO RELOCATE SAID FACILITIES WITHIN SAID EASEMENT AND RIGHT-OF-WAY AREAS, AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF SAID LINES OR APPURTENANCES THEREOF, IT IS AGREED AND UNDERSTOOD THAT NO BUILDINGS, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN SAID EASEMENT AREA.
2. ANY CPS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS EQUIPMENT, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATION.
3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED BELOW.
4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY REAR LOT UNDERGROUND ELECTRIC AND GAS FACILITIES.
5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC, GAS, TELEPHONE AND CABLE TV EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC, GAS, TELEPHONE AND CABLE TV FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) FOOT WIDE EASEMENTS.

### WASTEWATER EDU NOTE:

THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDUs) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE AT THE SAN ANTONIO WATER SYSTEM UNDER THE PLAT NUMBER ISSUED BY THE DEVELOPMENT SERVICES DEPARTMENT.

### LEGEND

- CB COUNTY BLOCK
- NCB NEW COUNTY BLOCK
- DPR DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS
- ESMT EASEMENT
- PG PAGE(S)
- ROW RIGHT-OF-WAY
- OPR OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF BEXAR COUNTY, TEXAS
- VOL VOLUME
- SET 1/2" IRON ROD (PD)
- 860--- EXISTING CONTOURS
- 860--- PROPOSED CONTOURS
- CITY LIMIT LINE
- ③ 10' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT

### PRESSURE REDUCING VALVE NOTE:

CONTRACTOR TO VERIFY THAT NO PORTION OF THE TRACT IS BELOW GROUND ELEVATION OF 745 FEET WHERE THE STATIC PRESSURE WILL NORMALLY EXCEED 80 PSI. AT ALL SUCH LOCATIONS WHERE THE GROUND LEVEL IS BELOW 745 FEET, THE DEVELOPER OR BUILDER SHALL INSTALL AT EACH LOT, ON THE CUSTOMER'S SIDE OF THE METER, AN APPROVED TYPE PRESSURE REGULATOR IN CONFORMANCE WITH THE PLUMBING CODE OF THE CITY OF SAN ANTONIO. NO DUAL SERVICES ALLOWED FOR ANY LOT(S) IF \*PRV IS/ARE REQUIRED FOR SUCH LOT(S). ONLY SINGLE SERVICE CONNECTIONS SHALL BE ALLOWED. \*NOTE: A PRESSURE REGULATOR IS ALSO KNOWN AS A PRESSURE REDUCING VALVE (PRV).

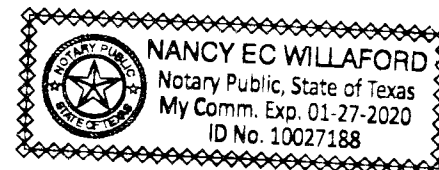
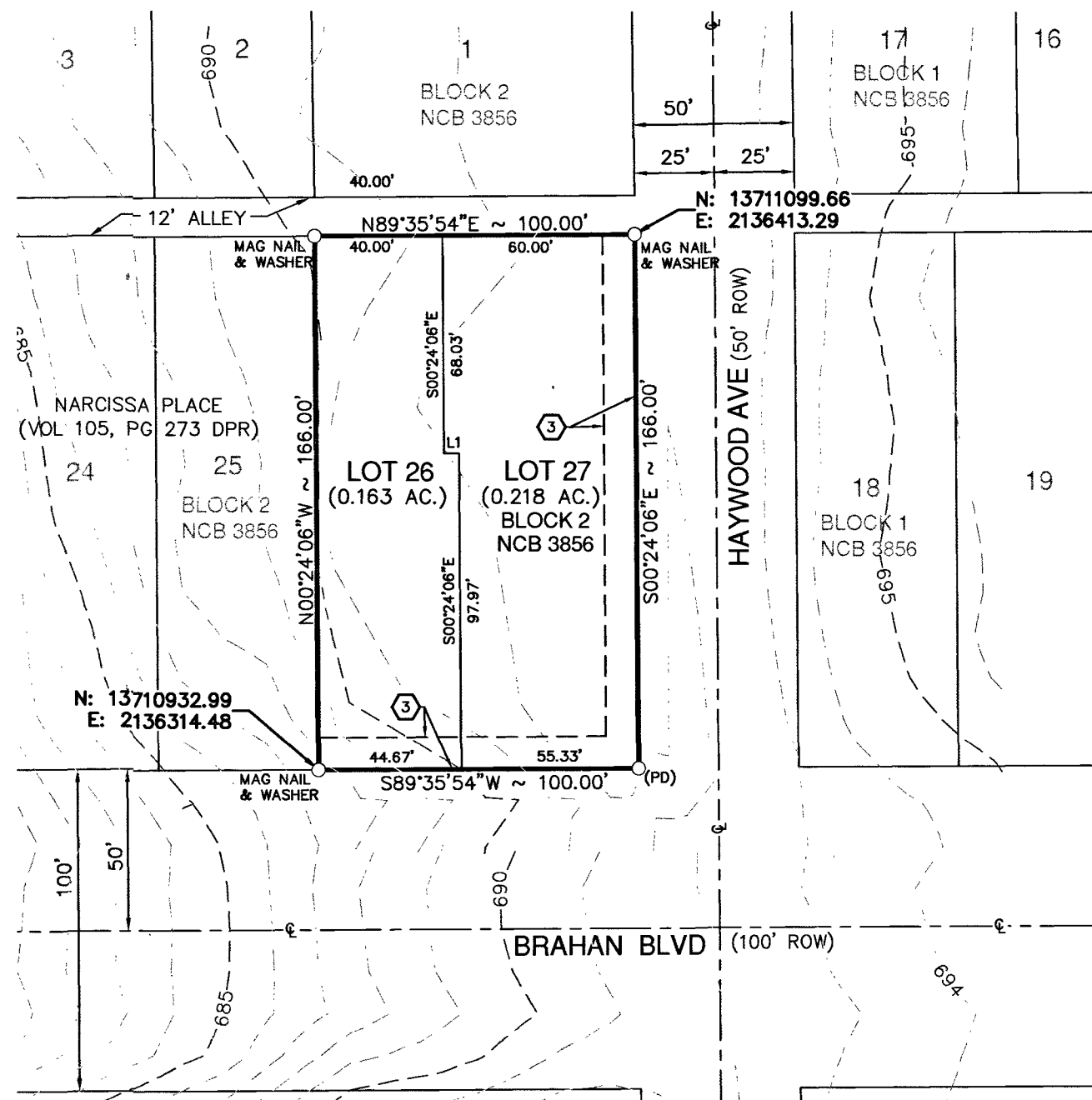
### MAINTENANCE NOTE:

THE MAINTENANCE OF ALL DRAINAGE EASEMENTS, ACCESS EASEMENTS, GREENBELTS, AND OPEN PERMEABLE SPACES SHOWN HEREON SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OR HOMEOWNERS' ASSOCIATION AND THEIR SUCCESSORS OR ASSIGNEES AND NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO AND/OR BEXAR COUNTY.

### FIRE FLOW NOTE:

IN AN EFFORT TO MEET THE CITY OF SAN ANTONIO'S FIRE FLOW REQUIREMENTS FOR THE PROPOSED RESIDENTIAL DEVELOPMENT, THE PUBLIC WATER MAIN SYSTEM HAS BEEN DESIGNED FOR A MINIMUM FIRE FLOW DEMAND OF 1750 GPM AT 25 PSI RESIDUAL PRESSURE. THE FIRE FLOW REQUIREMENTS FOR INDIVIDUAL STRUCTURES WILL BE REVIEWED DURING THE BUILDING PERMIT PROCESS IN ACCORDANCE WITH THE PROCEDURES SET FORTH BY THE CITY OF SAN ANTONIO DIRECTOR OF DEVELOPMENT SERVICES AND THE SAN ANTONIO FIRE DEPARTMENT FIRE MARSHAL.

LINE TABLE		
LINE #	BEARING	LENGTH
L1	N89°35'54"E	4.67'

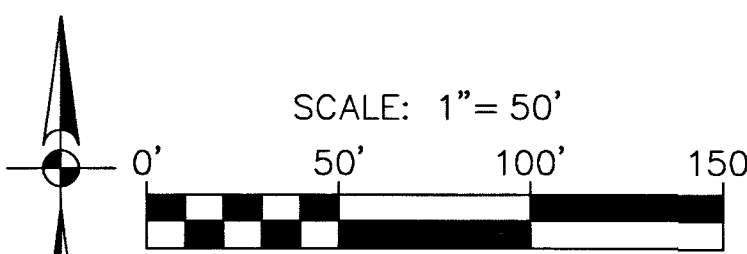


SHEET 1 OF 1

PLAT NUMBER 170135

### AMENDING PLAT OF 255 BRAHAN

THIS PLAT AMENDS LOT 26 & 27, BLOCK 2, NEW CITY BLOCK 3856 OF THE NARCISSE PLACE SUBDIVISION, CITY OF ANTONIO, TEXAS PREVIOUSLY RECORDED IN VOLUME 105, PAGE 273 OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS.



**PAPE-DAWSON  
ENGINEERS**

SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS  
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000  
TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028800

DATE OF PREPARATION: January 24, 2017

STATE OF TEXAS  
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: CLEARVIEW PARTNERS II LLC  
JOHN LINTON  
2602 WINDING VIEW LANE  
SAN ANTONIO, TEXAS 78260

STATE OF TEXAS  
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED JOHN LINTON, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 26th DAY OF January, A.D. 2017.

*Nancy EC Willaford*  
NOTARY PUBLIC, BEXAR COUNTY, TEXAS

THIS PLAT OF 255 BRAHAN HAS BEEN SUBMITTED TO THE CITY OF SAN ANTONIO, TEXAS, AND HAVING BEEN REVIEWED BY THE DIRECTOR OF DEVELOPMENT SERVICES, IS HEREBY APPROVED IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) HAVE BEEN GRANTED. DATED THIS 17 DAY OF January, A.D. 2017.

BY: *William Lang*  
DIRECTOR OF DEVELOPMENT SERVICES

STATE OF TEXAS  
COUNTY OF BEXAR

I, GERARD RICKHOFF, COUNTY CLERK OF BEXAR COUNTY, DO HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN MY OFFICE, ON THE 24th DAY OF FEBRUARY, A.D. 2017 AT 9:41 A.M. AND DULY RECORDED THE 24th DAY OF FEBRUARY, A.D. 2017 AT 9:41 A.M. IN THE DEED AND PLAT RECORDS OF BEXAR COUNTY, IN BOOK/ VOLUME 9712 ON PAGE 156 IN TESTIMONY WHEREOF, WITNESS MY HAND AND OFFICIAL SEAL OF OFFICE, THIS 24th DAY OF FEBRUARY, A.D. 2017.

COUNTY CLERK, BEXAR COUNTY, TEXAS

BY: *Mark R...* DEPUTY

255 BRAHAN

Civil Job No. 11127-00; Survey Job No. 11127-00

DATE: 1/23/2017 12:08 PM USER: G. Buchanan  
FILE: P:\11127-00\Design\Civil\Plat\1112700.dwg

TAX CERTIFICATE

Pkt #170135



ALBERT URESTI, MPA, PCC  
BEXAR COUNTY TAX ASSESSOR-COLLECTOR  
P O BOX 839950  
SAN ANTONIO, TX 78283-3950

**Issued To:**

PAPE-DAWSON ENGINEERS  
2000 NW LOOP 410  
SAN ANTONIO, TX 78213

**Legal Description**

NCB 3856 BLK 2 LOT 26 AND 27

**Fiduciary Number:** 1239415

**Parcel Address:** 255 BRAHAN BLVD

**Legal Acres:** .3811

**Account Number:** 03856-002-0260

**Certificate No:** 10876168

**Certificate Fee:** \$10.00

**Print Date:** 02/02/2017

**Paid Date:**

**Issue Date:** 02/02/2017

**Operator ID:** LHER

TAX CERTIFICATES ARE ISSUED WITH THE MOST CURRENT INFORMATION AVAILABLE. ALL ACCOUNTS ARE SUBJECT TO CHANGE PER SECTION 26.15 OF THE TEXAS PROPERTY TAX CODE. THIS IS TO CERTIFY THAT ALL TAXES DUE ON THE ABOVE DESCRIBED PROPERTY HAVE BEEN EXAMINED, UP TO AND INCLUDING THE YEAR 2016. ALL TAXES ARE PAID IN FULL

**Exemptions:**

**Certified Owner:**

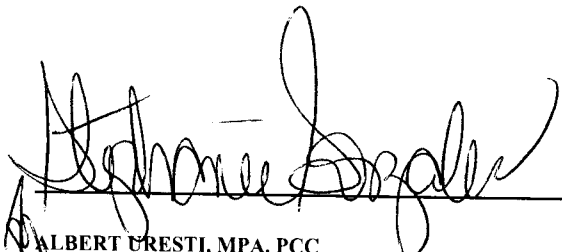
CLEARVIEW PARTNERS II LLC  
2602 WINDING VW  
SAN ANTONIO, TX 78260-7258

**Certified Tax Unit(s):**

8 FLOOD FUND  
9 ALAMO COMM COLLEGE  
10 HOSPITAL DISTRICT  
11 BEXAR COUNTY  
19 S A RIVER AUTHORITY  
21 CITY / SAN ANTONIO  
57 SAN ANTONIO ISD

<b>2016 Value:</b>	361,010
<b>2016 Levy:</b>	\$10,199.50
<b>2016 Levy Balance:</b>	\$0.00
<b>Prior Year Levy Balance:</b>	\$0.00
<b>Total Levy Due:</b>	\$0.00
<b>P&amp;I + Attorney Fee:</b>	\$0.00
<b>Total Amount Due:</b>	\$0.00

20170034761

  
ALBERT URESTI, MPA, PCC  
BEXAR COUNTY TAX ASSESSOR-COLLECTOR

**Reference (GF) No:** N/A



Any provision herein which restricts the sale, or use of the described real property because of race is invalid and unenforceable under Federal law  
STATE OF TEXAS, COUNTY OF BEXAR  
I hereby Certify that this instrument was FILED in File Number Sequence on this date and at the time stamped hereon by me and was duly RECORDED  
In the Official Public Record of Real Property of Bexar County, Texas on:

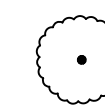
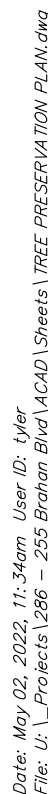
FEB 24 2017



*Gerard C. Rickhoff*  
COUNTY CLERK BEXAR COUNTY, TEXAS

Doc# 20170034761 Fees: \$82.00  
02/24/2017 9:41AM # Pages 3  
Filed & Recorded in the Official  
Public Records of BEXAR COUNTY  
GERARD C. RICKHOFF COUNTY CLERK

LOTS 26 & 27, BLOCK 2, N.C.B. 3856,  
255 BRAHAN SUBDIVISION  
9712/156, D.P.R.  
SAN ANTONIO, TEXAS, 78215



TREE TO BE PLANTED (REF. APPENDIX E)



EXISTING TREE  
TO BE REMOVED



TREE LIST			
POINT NO.	SIZE & SPECIES	ACTION	
5242	2 1/2" PECAN	TO REMAIN	
5243	11" HACKBERRY	TO REMAIN	
5244	16" PECAN	TO BE REMOVED	
5245	22" PECAN	TO REMAIN	
5246	18" BALD-CYPRESS	DEAD	
5250	19" PECAN	TO BE REMOVED	
5251	9" PALM	IN DECLINE	
5252	16" PALM	TO REMAIN	
5254	10" PALM	IN DECLINE	
7000	12" ANACUA	TO REMAIN	
7001	7" ANACUA	TO REMAIN	
7002	9" PECAN	TO BE REMOVED	
7003	10" PECAN	TO BE REMOVED	

NOTE:  
TREES ON LIST WITH A LINE THROUGH THEM WERE  
SURVEYED, BUT ARE EITHER NOT ON PROPERTY,  
WITHIN THE RIGHT OF WAY/EASEMENT, IN DECLINE  
OR EXEMPT SPECIES. THESE TREE ARE NOT  
INCLUDED WITHIN OUR TREE PRESERVATION  
CALCULATIONS.

TOTAL SITE.....	16601 SF (0.3811 AC)
REQUIRED CANOPY (15%).....	2490 SF
EXISTING CANOPY TO REMAIN.....	1150 SF
REQUIRED CANOPY TO BE PLANTED.....	1340 SF
TOTAL CANOPY (EXISTING+PROPOSED).....	6,460 SF (39%)

A TOTAL OF 4 - 1.5" CALIPER MEDIUM SPECIES AND 2 - 1.5" CALIPER LARGE SPECIES TREES TO BE PLANTED  
(2 - 1.5" CALIPER MEDIUM SPECIES TREES (875 SF) AND 1 - 1.5" CALIPER LARGE SPECIES TREE (1200 SF)  
SHALL BE PLANTED ON EACH LOT)

SIGNIFICANT TREES	
TOTAL INCHES.....	79 INCHES
INCHES REMOVED.....	54 INCHES
INCHES PRESERVED.....	25 INCHES
TOTAL PERCENTAGE PRESERVED.....	32 %
TOTAL REQUIRED 40% PRESERVATION FOR MULTIFAMILY.....	32 INCHES
REMAINING INCHES TO MITIGATE.....	7 INCHES
HERITAGE TREES	
TOTAL INCHES.....	0 INCHES
INCHES REMOVED.....	0 INCHES
INCHES PRESERVED.....	0 INCHES
TOTAL PERCENTAGE PRESERVED.....	0 %
TOTAL REQUIRED 40% PRESERVATION FOR MULTIFAMILY.....	0 INCHES
REMAINING INCHES TO MITIGATE.....	0 INCHES

1. ZONING DESIGNATION - RM-4
2. SITE IS LOCATED WITHIN THE C.R.A.G.
3. EACH LOT WILL BE REQUIRED TO PLANT 2 MEDIUM SPECIES TREES (SHADE VALUE 875) AND 1 LARGE SPECIES TREE (SHADE VALUE OF 1200) MIN CALIPER 1.5 INCHES
4. TREES SHALL COMPLY WITH APPENDIX E OF THE CITY OF SAN ANTONIO UDC. NO MORE THAN 25% OF THE REPLACEMENT TREES SHALL BE OF THE SAME SPECIES FOR THE PURPOSE OF MITIGATION.
5. ALL TREES SHALL BE WATERED FOR A MINIMUM OF THREE YEARS TO ENSURE TREE ESTABLISHMENT



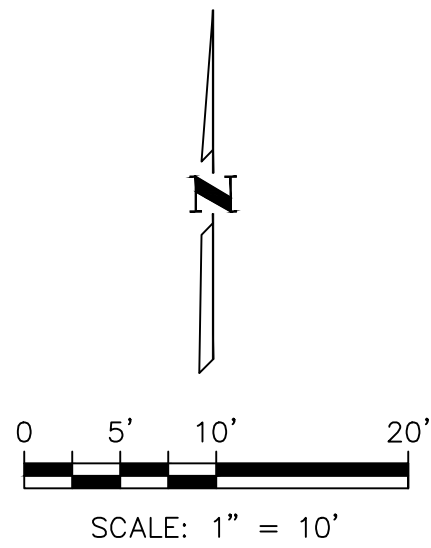
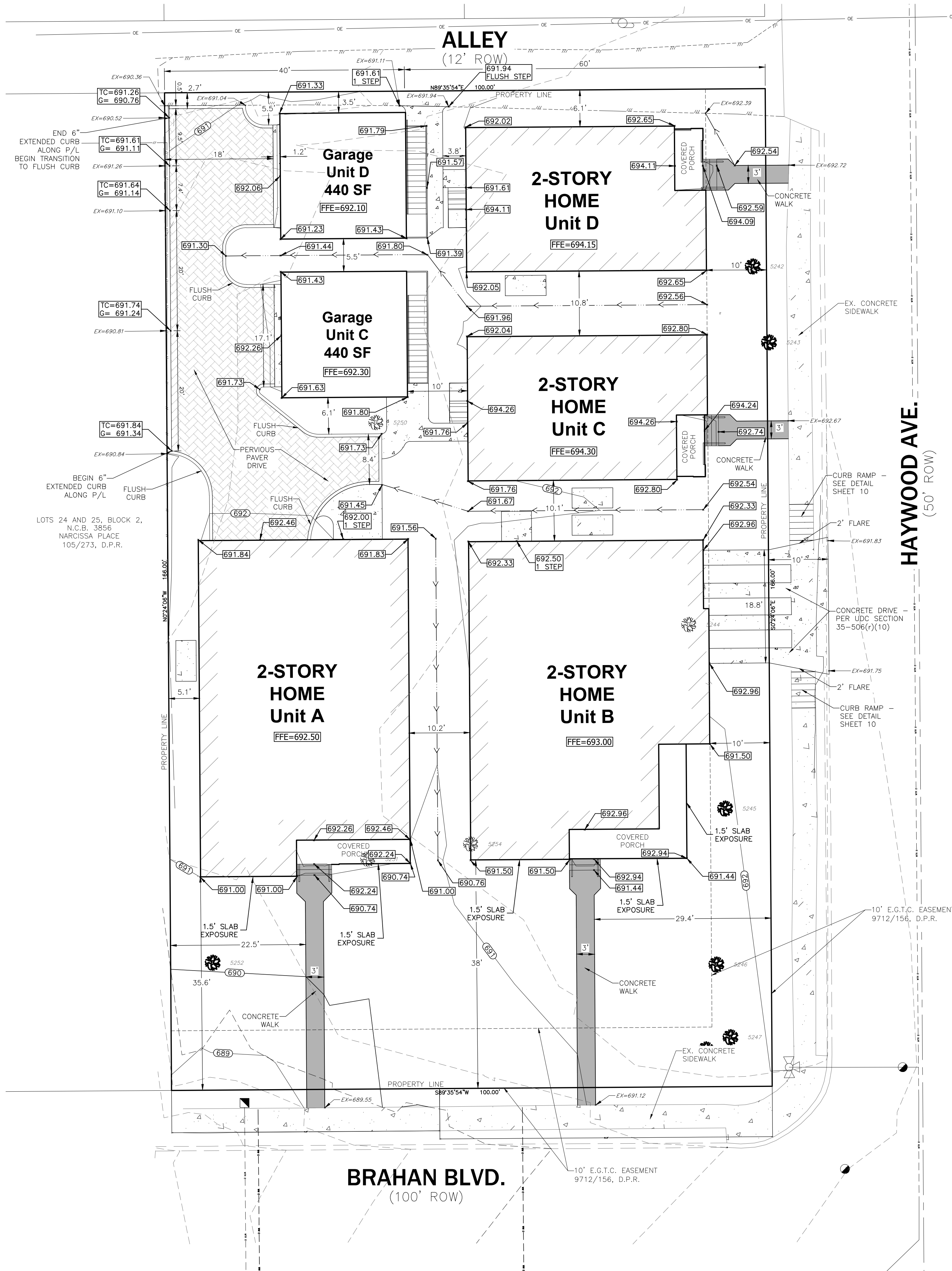
LEGAL DESCRIPTION:

LOTS 26 & 27, BLOCK 2, N.C.B. 3856,  
255 BRAHAN SUBDIVISION  
9712/156, D.P.R.  
SAN ANTONIO, TEXAS, 78215

LINE TABLE		
LINE	BEARING	LENGTH
L1	N89°35'54"E	4.67'

TRAFFIC SUMMARY TABLE

SITE USE DWELLING-1 FAMILY	4 UNITS
PARKING STORAGE STANDARDS MINIMUM PARKING RATIO	1 PER UNIT
MAXIMUM PARKING RATIO	N/A
REGULAR MINIMUM REQUIRED PARKING	4
MAXIMUM PARKING ALLOWED	N/A
ACTUAL/PROPOSED PARKING	8



LEGEND

	BOUNDARY / RIGHT OF WAY LINE
	CONCRETE CURB
	EASEMENT / SETBACK LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	OVERHEAD UTILITIES
	SWALE CENTERLINE
	PROPOSED ELEVATION
	EXISTING ELEVATION
	TOP OF WALL
	BOTTOM OF WALL
	FLOW DIRECTION
	TREE TO BE SAVED

\*REFER TO PLANS FROM JCG HOMES, LLC, FOR FINISHED FLOOR ELEVATIONS OF BUILDINGS AND INTERIORS. UP ENGINEERING IS NOT RESPONSIBLE FOR DISCREPANCIES BETWEEN FINISHED FLOOR ELEVATIONS AND THOSE ON THIS GRADING PLAN. CONTRACTOR TO CONFIRM ALL ELEVATIONS WITH BUILDER PRIOR TO CONSTRUCTION OF HOMES.

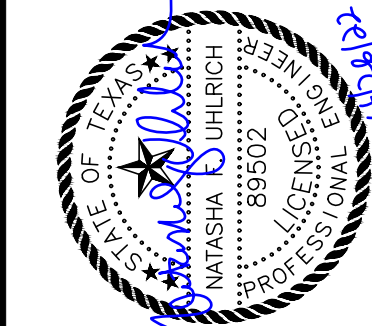
NOTES:

- REFERENCE STRUCTURAL PLANS FOR FOUNDATIONS.
- PER UDC SECTION 35-506(a)(1)(C)(2), EXISTING SIDEWALKS AND CURBS SHALL COMPLY WITH TEXAS ACCESSIBILITY STANDARDS AND CURRENT CITY OF SAN ANTONIO DESIGN STANDARDS.
- REFERENCE HOMEBUILDER PLANS FOR DRIVEWAY AND LANDSCAPING PLANS, DETAILS AND CONSTRUCTION.
- ALL SPOT ELEVATIONS REFER TO ELEVATIONS OUTSIDE OF THE BUILDING OR AT DOOR THRESHOLD. THE FINISHED FLOOR ELEVATION SHOWN IS THE ONLY ELEVATION SHOWN FOR THE INSIDE OF THE BUILDING.
- CURB RAMP SHALL BE BROOM FINISHED, SCORING OR GROOVES SHALL NOT BE PERMITTED.
- PER UDC SECTION 35-526(c)(1), ALL PARKING AREAS SHALL BE PROPERLY GRADED FOR DRAINAGE, SURFACED WITH CONCRETE, ASPHALTIC CONCRETE OR ASPHALT AND MAINTAINED IN GOOD CONDITION.

255 BRAHAN BOULEVARD

SITE DIMENSION AND  
GRADING PLAN

ARCHITECTURA SA, INC.  
17038 REDLAND ROAD, SUITE 101,  
SAN ANTONIO, TEXAS 78247



**UP**  
**ENGINEERING**  
**+ SURVEYING**  
11903 JONES MALTSBERGER ROAD, SUITE 102  
SAN ANTONIO, TX 78216 TEL 210-774-5504  
WWW.UPENGINEERING.COM F-17392

REV	DATE	DESCRIPTION	BY
1	4/20/22	REVISED PER PERMIT COMMENTS	
DESIGNED BY: WPF			
DRAFTED BY: JWH			
CHECKED BY: NFU			
SHEET			
4			
OF 10			



# CIVIL CONSTRUCTION DOCUMENTS FOR 255 BRAHAN BOULEVARD

# San Antonio, Texas

**OWNER/DEVELOPER:** ARCHITECTURA SA, INC.  
17038 REDLAND ROAD, SUITE 101  
SAN ANTONIO, TX 78247

**SURVEYOR:** UP ENGINEERING + SURVEYING  
11903 JONES MALTSBERGER ROAD, SUITE 102  
SAN ANTONIO, TEXAS 78216  
(210) 774-5504  
CONTACT: ADRIAN REYES, R.P.L.S.

**ENGINEER:** UP ENGINEERING + SURVEYING  
11903 JONES MALTSBERGER ROAD, SUITE 102  
SAN ANTONIO, TEXAS 78216  
(210) 774-5504  
CONTACT: NATASHA F. UHLRICH, P.E.

ADDRESS:

255 BRAHAN BOULEVARD, SAN ANTONIO, TEXAS 78215

FLOODPLAIN INFORMATION:

FIRM #48029, PANEL 0403 H 06/19/2020.

WATERSHED:

THIS SITE IS LOCATED IN THE HEADWATERS SAN ANTONIO RIVER WATERSHED

BENCHMARK:

CP 1: SET MAG NAIL  
NORTHING: 13711102.3500  
EASTING: 2136438.6870  
ELEVATION: 692.83

CP 2: SET PK NAIL IN TOP OF CONCRETE CURB  
NORTHING: 13710885.3100  
EASTING: 2136458.6910  
ELEVATION: 692.93

SURVEY BASIS:

BEARINGS SHOWN HEREON ARE BASED ON ACTUAL GPS OBSERVATIONS, TEXAS STATE PLANE COORDINATES, SOUTH CENTRAL ZONE, GRID

**LEGAL DESCRIPTION:**

LOTS 26 AND 27, BLOCK 2, N.C.B. 3856, OF THE 255 BRAHAN SUBDIVISION, RECORDED IN VOLUME 9712, PAGE 156 OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS.

## UTILITY PROVIDERS

GAS: CPS ENERGY  
145 NAVARRO  
SAN ANTONIO, TX 78205  
(210) 353-2376

CABLE: TIME WARNER CABLE  
1900 BLUE CREST LANE  
SAN ANTONIO, TX 78247  
(210) 244-0500

**ELECTRIC:** CPS ENERGY  
145 NAVARRO  
SAN ANTONIO, TX 78205  
(210) 353-2376

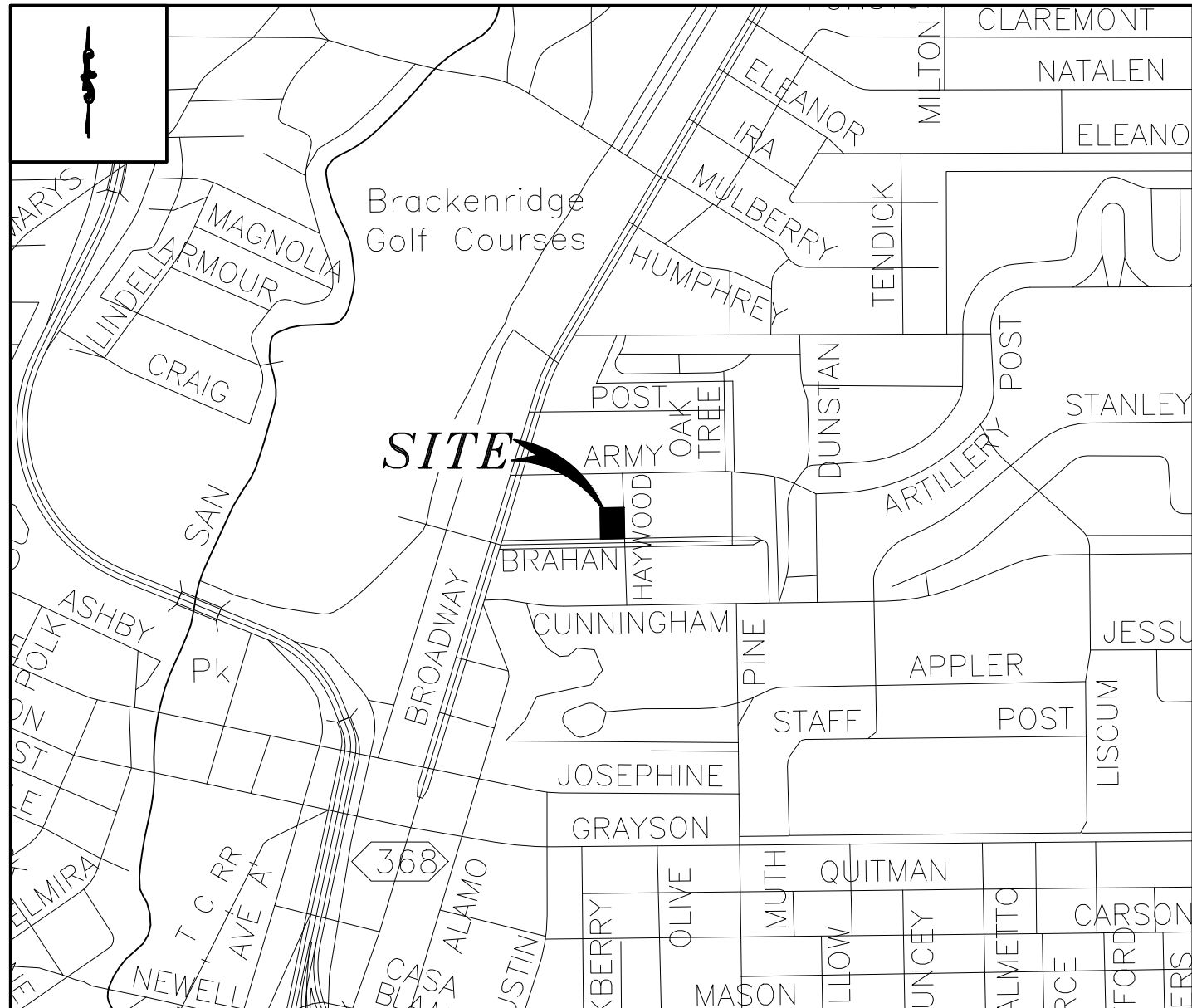
**WATER & WASTEWATER:** SAN ANTONIO WATER SYSTEM  
2800 U.S HWY 281 NORTH  
SAN ANTONIO, TX 78212  
(210) 233-2010

## LAND USE SUMMARY:

ZONING: RM-4  
PROPOSED SITE USE: SINGLE FAMILY  
LOT SIZE: 0.3811 ACRES

NOTES:

1. RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.
2. BY THE ACT OF SUBMITTING A BID FOR THE PROPOSED CONTRACT, THE BIDDER WARRANTS THAT THE BIDDER, AND ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS HE INTENDS TO USE HAVE CAREFULLY AND THOROUGHLY REVIEWED THE DRAWINGS AND SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS AND HAVE FOUND THEM COMPLETE AND FREE FROM ANY AMBIGUITIES AND CONFLICTS OR CONTRADICTIONS. THE BIDDER FURTHER WARRANTS THAT TO THE BEST OF HIS OR HIS SUBCONTRACTORS AND MATERIAL SUPPLIERS KNOWLEDGE ALL MATERIALS AND PRODUCTS SPECIFIED OR INDICATED HEREIN ARE ACCEPTABLE FOR ALL APPLICABLE CODES AND AUTHORITIES.
3. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAS BEEN BASED UPON RECORD INFORMATION AND/OR A FIELD SURVEY, AND MAY NOT MATCH LOCATIONS AS CONSTRUCTED. THE CONTRACTOR SHALL CONTACT THE "ONE CALL" SYSTEM @ 811, OR THE OWNER OF EACH INDIVIDUAL UTILITY, FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF UTILITY CROSSING PRIOR TO BEGINNING CONSTRUCTION.
4. ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION. (OSHA STANDARDS MAY BE PURCHASED FROM THE GOVERNMENT PRINTING OFFICE; INFORMATION AND REVISIONS OF OSHA STANDARDS MAY BE PURCHASED FROM OSHA, FOUNTAINHEAD TOWER, SUITE 605, 8200 W. INTERSTATE 10, SAN ANTONIO, TEXAS 78230).
5. CONTRACTOR SHALL RESTORE ALL SIGNS AND PAVEMENT MARKINGS TO EXISTING CONDITIONS FOLLOWING THE COMPLETION OF EACH PHASE OF CONSTRUCTION. CONTRACTORS SHALL REFER TO THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD) FOR SIGN AND MARKING DIMENSIONS AND COLORS.

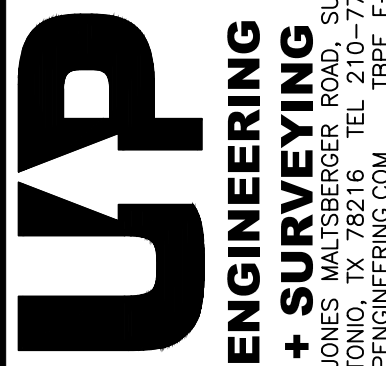


**VICINITY MAP**  
NOT TO SCALE

SUBMITTAL DATE:

January 18, 2022

CIVIL SHEET INDEX	
Sheet Number	Sheet Title
1	COVER SHEET
2	GENERAL NOTES
3	EXISTING CONDITIONS PLAN
4	SITE DIMENSION AND GRADING PLAN
5	UTILITY PLAN
6	WATER LAYOUT
7	FIRE PROTECTION PLAN
8	SAWS WATER NOTES
9	SAWS SANITARY SEWER NOTES
10	CONSTRUCTION DETAILS



ARCHITECTURA SA, INC.  
17038 REDLAND ROAD, SUITE 101,  
SAN ANTONIO, TEXAS 78247

255 BRAHAN BOULEVARD

COVER SHEET

[illegible]

DESIGNED BY: WPF

DRAFTED BY: JWH

CHECKED BY: NFU

SHEET

1

OF 10



ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF SAN ANTONIO STANDARD SPECIFICATIONS FOR CONSTRUCTION JUNE 1988, OR LATEST.

2. NO EXTRA PAYMENT SHALL BE ALLOWED FOR WORK CALLED FOR ON THE PLANS, BUT NOT INCLUDED IN THE BID PROPOSAL. THIS INCIDENTAL WORK WILL BE REQUIRED AND SHALL BE INCLUDED IN THE PAY ITEM TO WHICH IT RELATES.

3. THE CONTRACTOR SHALL PROVIDE ACCESS FOR THE DELIVERY OF MAIL BY THE U.S. POSTAL SERVICE.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING FENCES, CONCRETE ISLANDS, STREET PAVING, CURBS, SHRUBS, BUSHES OR DRIVEWAYS. (NO SEPARATE PAY ITEM).

5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SEE THAT ALL SIGNS AND BARRICADES ARE PROPERLY INSTALLED AND MAINTAINED. ALL LOCATIONS AND DISTANCES WILL BE DECIDED UPON IN THE FIELD BY THE CONTRACTOR, USING THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". THE CITY'S CONSTRUCTION INSPECTOR AND TRAFFIC ENGINEERING REPRESENTATIVE WILL ONLY BE RESPONSIBLE TO INSPECT BARRICADES AND SIGNS. IF, IN THE OPINION OF THE TRAFFIC ENGINEERING REPRESENTATIVE AND THE CONSTRUCTION INSPECTOR, THE BARRICADES AND SIGNS DO NOT CONFORM TO ESTABLISHED STANDARDS OR ARE INCORRECTLY PLACED OR ARE INSUFFICIENT IN QUANTITY TO PROTECT THE GENERAL PUBLIC, THE CONSTRUCTION INSPECTOR SHALL HAVE THE OPTION TO STOP OPERATIONS UNTIL SUCH TIME AS THE CONDITIONS ARE CORRECTED.

6. IF THE NEED ARISES, ADDITIONAL BARRICADES AND DIRECTIONAL DEVICES MAY BE ORDERED BY THE TRAFFIC ENGINEERING REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.

7. DUE TO FEDERAL REGULATIONS TITLE 49, PART 192.181 C.P.S. MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.

8. CONTRACTOR SHALL NOTIFY THE CITY INSPECTOR TWENTY FOUR (24) HOURS PRIOR TO BACKFILL OF ANY UTILITY TRENCHES TO SCHEDULE FOR DENSITY TEST AS REQUIRED.

9. CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES, MARKS, ETC. IF ANY ARE DESTROYED OR REMOVED BY THE CONTRACTOR OR HIS EMPLOYEES, THEY SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

10. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION TO DETERMINE THE LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY THE FOLLOWING AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO EXCAVATION OPERATION:

SAN ANTONIO WATER SYSTEM (SAWS)	210-233-2009
WATER & SEWER EMERGENCIES	210-704-7297
STORM DRAINAGE (CITY OF SAN ANTONIO	210-207-8022
SIGNAL OPERATIONS (CITY OF SAN ANTONIO)	210-207-8022
TEXAS STATE WIDE ONE CALL LOCATOR	811
CPS ENERGY (GAS & ELECTRIC)	210-353-2000
CPS ELECTRIC/GAS ISSUES OR EMERGENCIES	210-353-4357
TIME WARNER	210-244-0500
AT&T	972-742-5892

11. THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM AVAILABLE RECORDS AND ARE NOT GUARANTEED, BUT SHALL BE INVESTIGATED AND VERIFIED BY THE CONTRACTOR BEFORE STARTING WORK. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO AND FOR THE MAINTENANCE AND PROTECTION OF THE EXISTING UTILITIES EVEN IF THEY ARE NOT SHOWN ON THE PLANS. LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HEREIN ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION AND HE SHALL BE RESPONSIBLE FOR PROTECTION OF SAME DURING CONSTRUCTION.

12. ALL WASTE MATERIAL SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE HIS SOLE RESPONSIBILITY TO DISPOSE OF THIS MATERIAL OFF THE LIMITS OF THE PROJECT. NO WASTE MATERIAL SHALL BE PLACED IN EXISTING LOWS THAT WILL BLOCK OR ALTER FLOW LIMITS OF EXISTING ARTIFICIAL OR NATURAL DRAINAGE.

13. THE CONTRACTOR SHALL NOT PLACE ANY WASTE MATERIAL IN THE 100-YEAR FLOOD PLAN WITHOUT FIRST OBTAINING AN APPROVED FLOOD PLAN DEVELOPMENT PERMIT.

14. THE CONTRACTOR SHALL MAINTAIN ALL ADJOINING STREETS AND TRAVELED ROUTES FREE FROM SPILLED AND / OR TRACKED CONSTRUCTION MATERIALS AND / OR DEBRIS.

15. IF THE CONTRACTOR ENCOUNTERS ANY ARCHAEOLOGICAL DEPOSITS DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR MUST STOP EXCAVATION IMMEDIATELY, CONTACT THE CITY INSPECTOR AND THE CITY HISTORIC PRESERVATION OFFICE AT 210-215-9274 FOR AN ARCHAEOLOGICAL INVESTIGATION. THE CONTRACTOR CANNOT BEGIN EXCAVATION AGAIN WITHOUT WRITTEN PERMISSION FROM THE CITY.

IF MORE THAN THREE (3) DAYS ARE REQUIRED FOR INVESTIGATION (NOT INCLUDING HOLIDAY AND WEEKENDS) AND IF THE CONTRACTOR IS UNABLE TO WORK IN OTHER AREAS, THEN THE CONTRACTOR WILL BE ALLOWED TO NEGOTIATE FOR ADDITIONAL CONSTRUCTION TIME UPON WRITTEN REQUEST WITHIN TEN (10) DAYS AFTER THE FIRST NOTICE TO THE CITY OF ARCHAEOLOGICAL INVESTIGATION FOR EACH EVENT.

IF THE TIME REQUIRED FOR INVESTIGATION IS LESS THAN OR EQUAL TO THREE (3) DAYS FOR EACH EVENT, CONTRACT DURATION WILL NOT BE EXTENDED.

1. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT SHALL COMPLY TO ALL APPLICABLE CITY OF SAN ANTONIO RULES AND REGULATIONS FOR STREETS, SIDEWALKS, ALLEYS AND ROADWAY DESIGN (LATEST EDITIONS), THE TEXAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS (LATEST EDITIONS), THE SAN ANTONIO WATER SYSTEM (SAWS) SPECIFICATIONS FOR WATER WORKS CONSTRUCTION (LATEST EDITION).
2. THE LOCATIONS AND DEPTHS OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS OF UTILITIES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITY SERVICE LINES AS REQUIRED FOR CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY CONFLICTS IMMEDIATELY. ANY DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR, AT HIS EXPENSE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
4. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UNDERGROUND UTILITIES AND DRAINAGE SYSTEMS WHETHER SHOWN ON PLANS OR NOT.
5. ALL UTILITIES SHALL BE INSTALLED PRIOR TO PAVEMENT CONSTRUCTION.
6. ALL UTILITY CONNECTIONS SHALL BE COORDINATED WITH THE MECHANICAL AND ELECTRICAL PLANS. NOTIFY ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR SHALL INSTALL ANY BENDS, FITTINGS, ETC. IN THE WATER & SEWER MAIN AS REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES. (NO SEPARATE PAY).
8. NO WATER JETTING TO BACKFILL TRENCHES WILL BE ALLOWED ON THIS PROJECT.
9. POLYVINYL CHLORIDE (PVC) SEWER PIPE SHALL BE SDR 26. FITTINGS AND JOINTS SHALL CONFORM TO COMPATIBLE SDR 26 PIPE. SOLVENT CEMENTS JOINTS SHALL NOT BE USED.
10. WHEN SEWER LINES ARE INSTALLED IN THE VICINITY OF WATER MAINS, SUCH INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ).
11. ALL SPOIL AND OTHER UNSUITABLE MATERIAL FROM THIS WORK SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR, AT HIS EXPENSE.
12. ALL SERVICES ARE BROUGHT TO WITHIN 5 FEET OF THE BUILDING UNLESS OTHERWISE NOTED. REFERENCE MEP PLANS FOR UTILITY CONNECTIONS AT THE BUILDING.
13. WHETHER SHOWN ON THE PLANS OR NOT ALL CLEANOUT TOPS AND MANHOLES SHALL BE INSTALLED AT LEAST 3" ABOVE FINISHED GRADE OUTSIDE PAVEMENT AND FLUSH WITH FINISHED GRADE WITHIN THE PAVEMENT AREAS. TOPS WITHIN PAVEMENT SHALL BE TRAFFIC RATED.
14. SANITARY SEWER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE AND THE SAN ANTONIO WATER SYSTEM PLUMBING SPECIFICATIONS, AND AS DIRECTED BY THE PLUMBING INSPECTOR.
15. THURST BLOCKING SHALL BE INSTALLED IN ACCORDANCE WITH SAN ANTONIO WATER SYSTEM SPECIFICATIONS.
16. UTILITY CONTRACTOR SHALL COORDINATE WITH CPS ENERGY FOR THE GAS AND ELECTRICAL SERVICE.
17. FIRE LINE SHALL BE INSTALLED BY A LICENSED FIRE SPRINKLER CONTRACTOR.
18. DOMESTIC WATER SHALL BE PVC C900 FOR PIPES < 12" OR C905 FOR PIPES ≥ 12" OR COPPER TUBING AS SPECIFIED IN THE SAWS STANDARD SPECIFICATIONS – ITEM #924.
19. CLEANOUTS SHALL BE TWO-WAYS AND INSTALLED IN ACCORDANCE WITH COSA PLUMBING CODE (EVERY 100') & AS DIRECTED BY PLUMBING INSPECTOR.
20. FIRE LINE SHALL BE PVC C900, CLASS 150 AND SHALL COMPLY WITH AWWA STANDARDS AND SHALL WITHSTAND A WORKING PRESSURE OF NOT LESS THAN 200 P.S.I.
21. CONTRACTOR SHALL MAINTAIN "AS-BUILT" DRAWINGS THROUGHOUT THE COURSE OF CONSTRUCTION & SHALL SUBMIT SAME TO THE ENGINEER FOR APPROVAL PRIOR TO FINAL ACCEPTANCE BY OWNER.

**GRADING AND DRAINAGE NOTES**

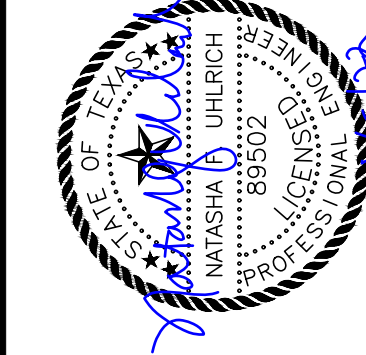
1. CONTRACTOR TO VERIFY ELEVATIONS PRIOR TO CONSTRUCTION. EXISTING CONTOURS BASED ON SURVEY TOPOGRAPHIC DATA.
2. ALL GRADES AND CONTOURS SHOWN ARE FINAL, TOP OF FINISHED SURFACE ELEVATIONS, CONTRACTOR SHALL SUBTRACT PAVEMENT, BASE, TOPSOIL, MULCH, ...ETC. TO OBTAIN PROPER SUBGRADE ELEVATIONS.
3. POSITIVE DRAINAGE SHALL BE MAINTAINED ON ALL AREAS WITHIN THE SCOPE OF THIS PROJECT. DRAINAGE SHALL BE DIRECTED AWAY FROM ALL BUILDING FOUNDATIONS. CONTRACTOR SHOULD TAKE PRECAUTIONS NOT TO ALLOW ANY PONDING OF WATER. MINIMUM SLOPE 0.50%.
4. NO ABRUPT CHANGE OF GRADE SHALL OCCUR.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED, BY THE CONTRACTOR, IN ACCORDANCE WITH PROJECT SPECIFICATIONS, AND ARCHITECTURAL LANDSCAPING PLANS.
6. THE CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL UTILITIES AND DRAINAGE STRUCTURES WHETHER SHOWN ON THE PLAN OR NOT. THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES PRIOR TO CONSTRUCTION TO VERIFY SIZE, GRADE, AND LOCATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DEVIATIONS FROM PLANS PRIOR TO BEGINNING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR, AT HIS EXPENSE.
7. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT WHERE NOT SPECIFICALLY COVERED IN THE PROJECT SPECIFICATIONS SHALL CONFORM TO ALL APPLICABLE CITY OF SAN ANTONIO SPECIFICATIONS FOR CONSTRUCTION, TXDOT STANDARD SPECIFICATIONS, AND BEXAR COUNTY PUBLIC WORKS STANDARD SPECIFICATIONS.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ORIGINAL, OR BETTER CONDITION ANY DAMAGES DONE TO EXISTING SIGNS, UTILITIES, PAVEMENT, CURBS, SIDEWALKS OR DRIVEWAYS (NO SEPARATE ITEM).
9. DUE TO FEDERAL REGULATION TITLE 49, PART 192.181, CPS ENERGY MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVE THAT ARE IN THE PROJECT AREA.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH NECESSARY UTILITY COMPANIES FOR PROVIDING TEMPORARY UTILITY SERVICES DURING CONSTRUCTION.
11. CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS FOR UNDERGROUND UTILITIES AND DRAINAGE SYSTEMS WHETHER SHOWN ON PLANS OR NOT.
12. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS, OF DIMENSIONS OR GRADES NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
13. THE CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT AT NEW PAVEMENT AND CURB JUNCTURES. NO JAGGED OR IRREGULAR CUTS IN PAVEMENT WILL BE ACCEPTED.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
15. ALL EXCAVATION IS UNCLASSIFIED.
16. SEE CIVIL COVER SHEET FOR PROJECT BENCHMARK.
17. CONTRACTOR TO RAISE/LOWER ALL UTILITY BOXES, COVERS, GRATES, VALVES BOXES, MANHOLES, CLEANOUTS, ETC., TO MATCH PROPOSED FINISHED GRADE ELEVATIONS.
18. ALL DISTURBED AREAS WHICH ARE NOT TO BE PAVED SHALL BE COVERED WITH 6" MIN. CLEAN TOPSOIL UNLESS OTHERWISE NOTED. CURB OR FILL SHALL BE ADJUSTED TO ALLOW FOR TOPPING IN ORDER TO MAINTAIN PROPOSED ELEVATIONS. AREAS FOR LANDSCAPING SHOULD BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECTS PLANS.
19. PROVIDE THE REQUIRED MINIMUM DENSITY AND MOISTURE CONTENT OF COMPACTED FILL IN ACCORDANCE WITH THE SOILS REPORT AND THE REQUIREMENTS OF THE PROFESSIONAL ENGINEER (GEOTECH AND CIVIL).
20. A TESTING LABORATORY SHALL BE EMPLOYED BY THE CONTRACTOR TO CHECK THE SUITABILITY OF MATERIAL SELECTED FOR CONTROLLED FILL. ALL FILL SHALL BE COMPACTED TO MEET THE REQUIRED DENSITY. FILL AND BACKFILL SHALL BE DRIED OUT OR MOISTENED, AS NECESSARY, SCARIFIED, AND RECOMPACTED AT NO ADDITIONAL COSTS TO OWNER.

1. WHERE A SEWER MAIN CROSSES OVER A WATER MAIN AND THE SEPARATION DISTANCE IS LESS THAN NINE FEET, ALL PORTIONS OF THE SEWER MAIN WITHIN NINE FEET OF THE WATER LINE SHALL BE CONSTRUCTED USING 150 PSI PRESSURE RATED DUCTILE IRON, CAST IRON OR PVC PIPE, AND JOINED WITH EQUIVARIANT RATED PRESSURE RING GASKET CONNECTIONS OR CORROSION PROTECTED MECHANICAL COUPLING DEVICES OF A CAST IRON OR DUCTILE IRON MATERIAL. A SECTION OF 150 PSI PRESSURE RATED PIPE AT LEAST EIGHTEEN (18) FEET IN LENGTH MAY BE CENTERED ON THE WATER MAIN IN LIEU OF PIPE CONNECTION REQUIREMENTS. (NO SEPARATE PAY ITEM).
2. WHERE A SEMI-RIGID OR RIGID SEWER MAIN CROSSES UNDER A WATER MAIN AND THE SEPARATION DISTANCE IS LESS THAN NINE FEET BUT GREATER THAN TWO FEET, THE INITIAL BACKFILL SHALL BE CEMENT STABILIZED SAND (TWO OR MORE BAGS OF CEMENT PER CUBIC YARD OF SAND) FOR ALL SECTIONS OF THE SEWER WITHIN NINE FEET OF THE WATER MAIN.
3. WHERE A SEWER MAIN CROSSES UNDER A WATER MAIN AND THE SEPARATION DISTANCE IS LESS THAN TWO FEET, THE SEWER MAIN SHALL BE CONSTRUCTED OF CAST IRON OR DUCTILE IRON MATERIAL. PRESSURE RATING OF 150 PSI WITHIN NINE FEET OF THE WATER MAIN, SHALL HAVE A SEGMENT OF SEWER PIPE CENTERED ON THE WATER MAIN, SHALL BE PLACED NO CLOSER THAN SIX INCHES BETWEEN OUTER DIAMETERS, AND SHALL BE JOINED WITH PRESSURE RING GASKET CONNECTIONS OR CORROSION PROTECTED MECHANICAL COUPLING DEVICES OF A CAST IRON OR DUCTILE IRON MATERIAL. A SECTION OF 150 PSI PRESSURE RATED PIPE OF A LENGTH GREATER THAN EIGHTEEN (18) FEET MAY BE CENTERED ON THE WATER MAIN IN LIEU OF PIPE CONNECTION REQUIREMENTS. (NO SEPARATE PAY ITEM).
4. WHERE A SEWER MAIN PARALLELS A WATER MAIN AND THE SEPARATION DISTANCE IS LESS THAN NINE FEET, THE SEWER MAIN SHALL BE BELOW THE WATER MAIN, SHALL BE CONSTRUCTED OF CAST IRON, DUCTILE IRON, OR PVC WITH A MINIMUM PRESSURE RATING OF 150 PSI FOR BOTH PIPE AND JOINTS FOR A DISTANCE OF NINE FEET BEYOND THE POINT OF CONFLICT, SHALL BE CONSTRUCTED WITHIN A MINIMUM DISTANCE OF TWO FEET VERTICALLY AND FIVE FEET HORIZONTALLY, AND SHALL BE JOINED WITH PRESSURE RING GASKET CONNECTIONS OR CORROSION PROTECTED MECHANICAL COUPLING DEVICES OF A CAST IRON OR DUCTILE IRON MATERIAL.
5. SANITARY SEWER MANHOLES SHALL NOT BE INSTALLED ANY CLOSER THAN NINE FEET TO WATER MAINS.
6. CORROSION PROTECTED MECHANICAL COUPLING DEVICES SHALL BE OF A CAST IRON MATERIAL.
7. PLAN & PROFILE MUST SHOW TYPE OF CROSSING AND MATERIAL TO USE.

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF SAN ANTONIO STANDARDS AND SPECIFICATIONS.
2. ALL FILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD (ASTM D-698).
3. ALL CONSTRUCTION BARRICADING TO BE IN ACCORDANCE WITH CURRENT "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG TEST" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN PER THE APPROPRIATE REMEDIAL ACTION AGREED UPON BY THE ENGINEER.
5. DISPOSAL OF ALL DEMOLISHED MATERIAL IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL MUNICIPAL REQUIREMENTS.
6. WHERE A STATE OR LOCAL MUNICIPAL STANDARD DETAIL DUPLICATES A DETAIL SHOWN IN THE PLANS, THE MORE STRINGENT DETAIL AS DETERMINED BY THE REVIEWING AGENCY, SHALL APPLY.
7. ALL ITEMS NOT SPECIFICALLY CALLED OUT TO BE REMOVED SHALL REMAIN. ANY ITEM TO REMAIN WHICH IS REMOVED SHALL BE REPLACED AT THE CONTRACTORS EXPENSE. (NO SEPARATE PAY).
8. CONTRACTOR MUST BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY DEMOLITION PERMITS FOR THE PROJECT AND COORDINATION WITH THE RESPECTIVE UTILITY COMPANIES FOR REMOVAL OF THEIR INDIVIDUAL SERVICES.
9. CONTRACTOR SHALL IMMEDIATELY CONTACT THE ENGINEER REGARDING QUESTIONS ON THE DEMOLITION PLAN.
10. DEMOLITION CONTRACTOR SHALL CLEARLY MARK ALL EXISTING UTILITY SERVICES WHERE THEY CROSS PROPERTY LINES. THIS INFORMATION WILL BE USED BY UTILITY COMPANIES AND CONTRACTORS TO TIE INTO FOR THE PROPOSED UTILITY SERVICES.
11. CONTRACTOR SHALL VERIFY WHICH TREES ARE TO BE SAVED & PROTECTED PRIOR TO COMMENCING CONSTRUCTION, DURABLE FENCE PROTECTION BARRIERS SHALL BE INSTALLED AROUND ALL TREES TO BE SAVED WITH FENCE PLACEMENT A MINIMUM OF 10 FEET FROM TREES TRUNKS. (IF APPLICABLE)
12. CONTRACTOR SHALL NOT DISTURB AREAS AROUND EXISTING TREES TO BE SAVED. (IF APPLICABLE)
13. CONTRACTOR SHALL COMPENSATE OWNER FOR DAMAGE OF TREES THAT WERE TO REMAIN. (IF APPLICABLE)

## GENERAL NOTES

ARCHITECTURA SA, INC.  
17038 REDLAND ROAD, SUITE 101,  
SAN ANTONIO, TEXAS 78247



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**ENGINEERING**  
**+ SURVEYING**  
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WWW.UPENGINEERING.COM TBPE F-17992  
TBPELS F-10194606

	REV	DATE	DESCRIPTION	BY
DESIGNED BY:				WPF
DRAFTED BY:				JWH
CHECKED BY:				NFU

2

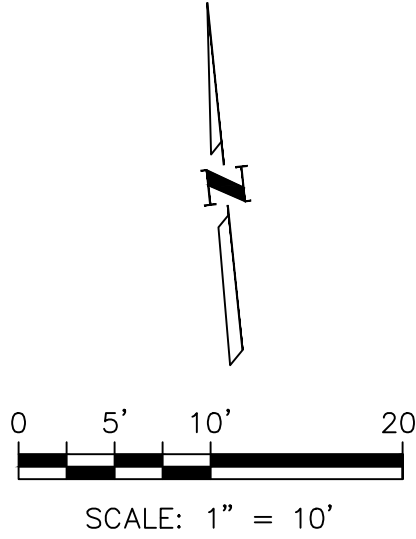
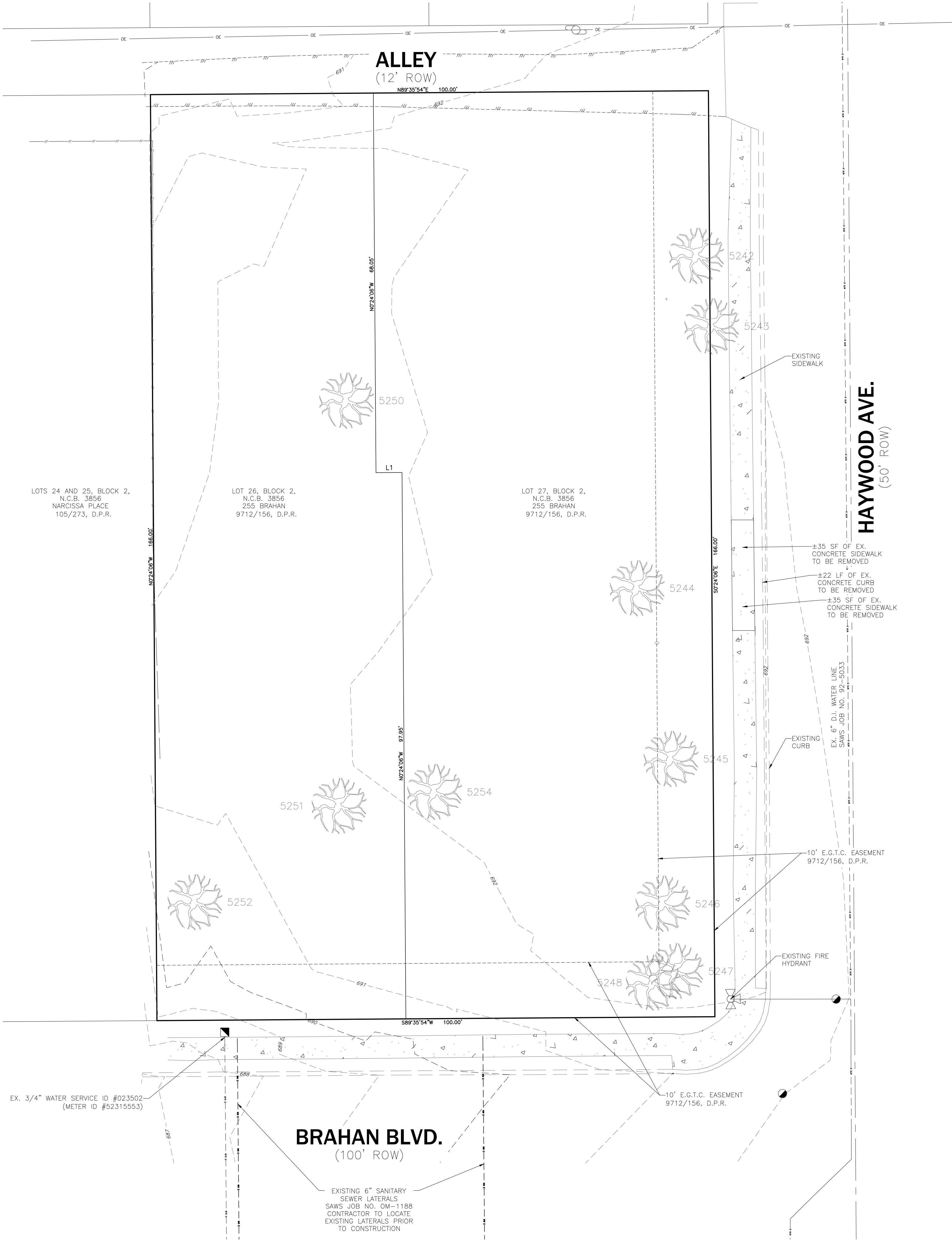
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LEGAL DESCRIPTION:

LOTS 26 & 27, BLOCK 2, N.C.B. 3856,  
255 BRAHAN SUBDIVISION  
9712/156, D.P.R.  
SAN ANTONIO, TEXAS, 78215

LINE TABLE		
LINE	BEARING	LENGTH
L1	N89°35'54"E	4.67'



LEGEND	
	BOUNDARY / RIGHT OF WAY LINE
	EASEMENT
	SETBACK LINE
	EXISTING OVERHEAD UTILITIES
	EXISTING UNDERGROUND TELEPHONE
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING EDGE OF PAVEMENT
	EXISTING BARBED WIRE FENCE
	O.P.R.B.C.T. OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY TEXAS
	D.P.R. DEED AND PLAT RECORDS OF BEXAR COUNTY TEXAS
	E.G.T.C. ELECTRIC, GAS, TELEPHONE AND CABLE T.V. EASEMENT
	V.N.A.E. VEHICULAR NON-ACCESS EASEMENT
	B.S.L. BUILDING SETBACK LINE
	ROW RIGHT OF WAY
	C.B. COUNTY BLOCK
	20001/2266 VOLUME/PAGE
	DOC. DOCUMENT
	EX. INV. EXISTING INVERT
	EXISTING LIGHT POLES
	EXISTING UTILITY POLE
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING TELEPHONE PEDESTAL

TREE TABLE			
Point #	Northing	Easting	Tree
5242	13711070.16	2136411.18	27-inch DIAMETER PECAN
5243	13711057.52	2136413.89	11-inch DIAMETER HACKBERRY
5244	13711010.56	2136400.53	16-inch DIAMETER PECAN
5245	13710979.95	2136406.58	22-inch DIAMETER PECAN
5246	13710954.00	2136405.12	16-inch DIAMETER UNKNOWN
5247	13710941.90	2136407.47	20-inch DIAMETER CHINA BERRY
5248	13710939.87	2136403.38	19-inch DIAMETER CEDAR
5250	13711044.19	2136348.44	19-inch DIAMETER PECAN
5251	13710971.54	2136347.10	9-inch DIAMETER PALM
5252	13710954.29	2136321.27	18-inch DIAMETER PALM
5254	13710974.04	2136364.22	10-inch DIAMETER PALM

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SAN ANTONIO, TEXAS 78247

255 BRAHAN BOULEVARD  
EXISTING CONDITIONS PLAN

DESIGNED BY:	WPF
DRAFTED BY:	JWH
CHECKED BY:	NFU

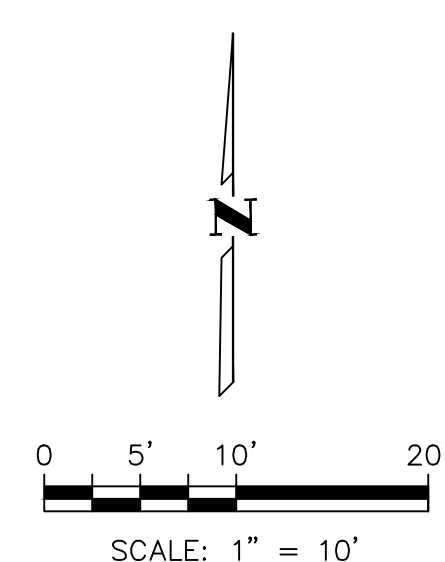
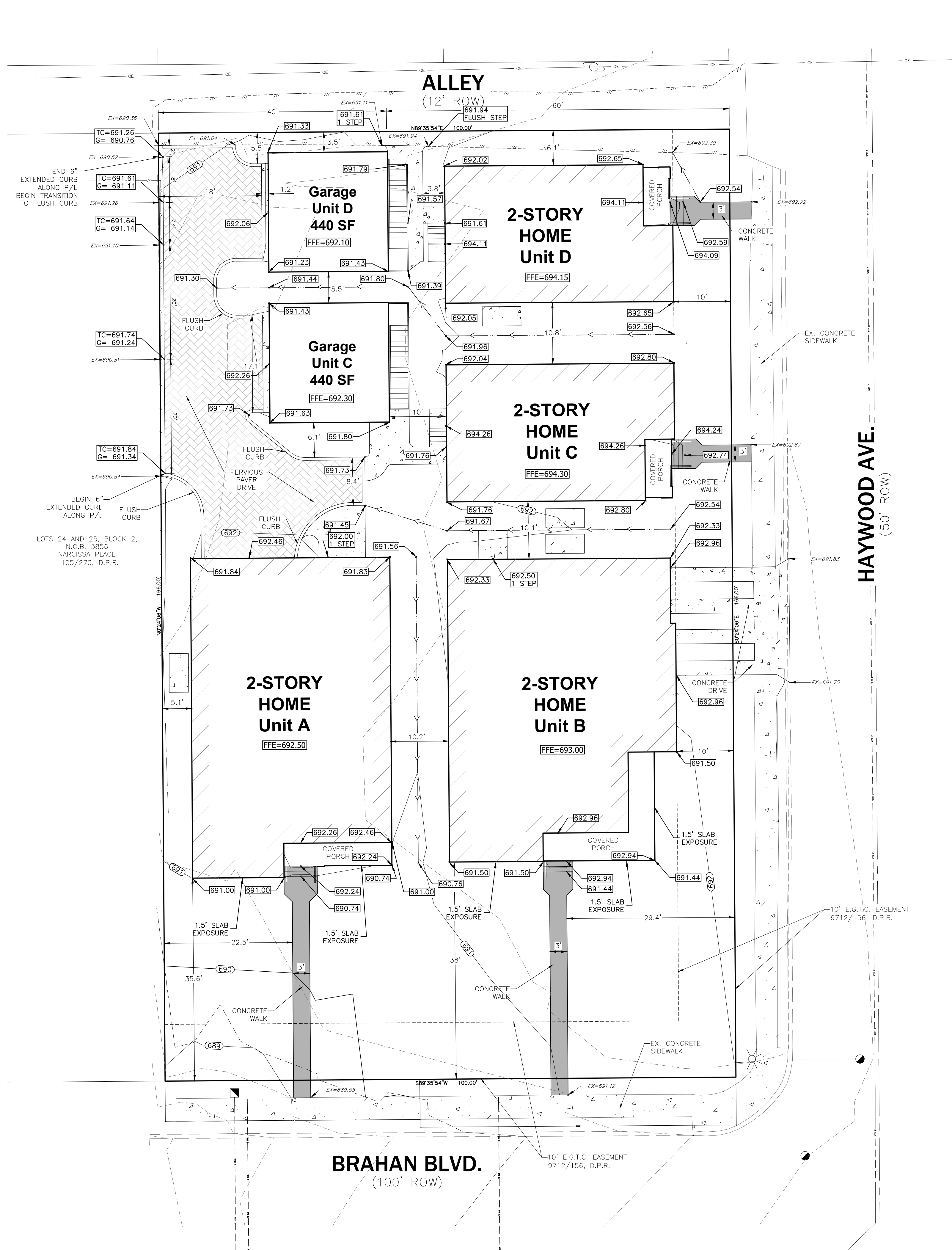
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OF 10

ENGINEERING + SURVEYING  
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255 BRAHAN SUBDIVISION  
9712/156, D.P.R.  
SAN ANTONIO, TEXAS, 78215

LINE TABLE		
LINE	BEARING	LENGTH
L1	N89°35'54"E	4.67'



## LEGEND

	BOUNDARY / RIGHT OF WAY LINE
	CONCRETE CURB
	EASEMENT / SETBACK LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	OVERHEAD UTILITIES
	SWALE CENTERLINE
	PROPOSED ELEVATION
	EXISTING ELEVATION
	TOP OF WALL
	BOTTOM OF WALL
	FLOW DIRECTION
	TREE TO BE SAVED

1. REFERENCE STRUCTURAL PLANS FOR FOUNDATIONS.
2. ALL SIDEWALKS, CURBS, RAMPS AND DRIVE APPROACHES IN THE RIGHT-OF-WAY SHALL BE IN COMPLIANCE WITH CURRENT TEXAS ACCESSIBILITY STANDARDS AND CITY OF SAN ANTONIO DESIGN STANDARDS PRIOR TO FINAL INSPECTION APPROVAL.
3. REFERENCE HOMEBUILDER PLANS FOR DRIVEWAY AND LANDSCAPING PLANS, DETAILS AND CONSTRUCTION.
4. ALL SPOT ELEVATIONS REFER TO ELEVATIONS OUTSIDE OF THE FINISH OF THE FINISHED FLOOR. THE FINISHED FLOOR ELEVATION SHOWN IS THE ONLY ELEVATION SHOWN FOR THE INSIDE OF THE BUILDING.

2255 BRAHAN BOULEVARD

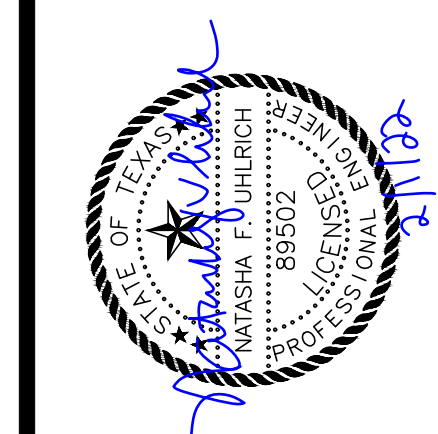
## SITE DIMENSION AND GRADING PLAN

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SHEET

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OF 10



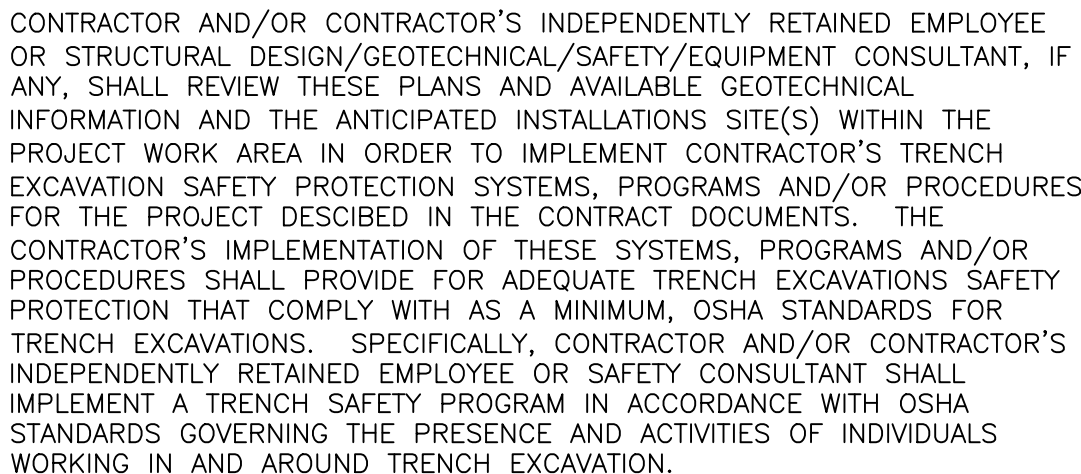
**ARCHITECTURA SA, INC.  
17038 REDLAND ROAD, SUITE 101,  
SAN ANTONIO, TEXAS 78247**

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**ENGINEERING**  
**+ SURVEYING**  
JONES MALTSBERGER ROAD, SUITE 100  
COLUMBUS, OHIO, TX 78216 TEL 210-777-0000  
FAX 210-777-0001  
ENGINEERING.COM TBPE F 5-101194606  
TBPE F 5-101194606

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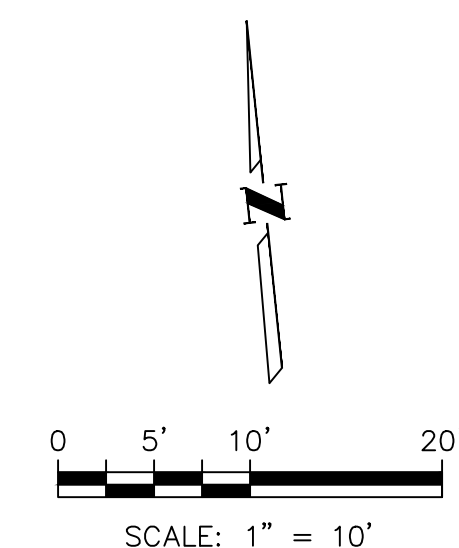


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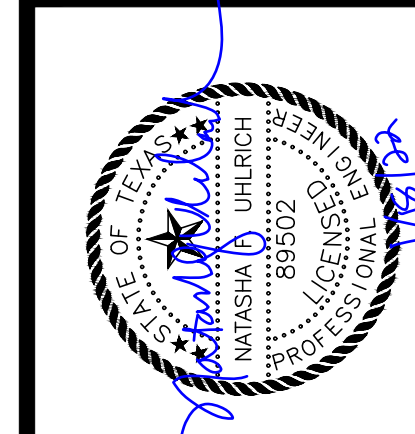


	BOUNDARY / RIGHT OF WAY LINE
	CONCRETE CURB
	EASEMENT
	SETBACK LINE
	WATER LINE
	WASTEWATER LINE
	OVERHEAD UTILITIES
	UNDERGROUND UTILITIES
E.G.T.C. EASEMENT	ELECTRIC, GAS, TELEPHONE AND CABLE T.V. EASEMENT
B.S.L.	BUILDING SETBACK LINE
	LIGHT POLES
	UTILITY POLE
	WATER VALVE
	WATER METER
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	WASTEWATER CLEAN-OUT
	BACKFLOW PREVENTOR

**CAUTION:**  
CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND  
HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE  
ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

**NOTES:**  
DOMESTIC WATER LINES AND SANITARY SEWER LINES AND LATERALS TO BE  
INSTALLED BY PLUMBER PER CITY OF SAN ANTONIO PLUMBING CODE.  
  
WHERE METER BOXES ARE INSTALLED IN SIDEWALKS OR DRIVEWAYS, THE  
CONTRACTOR SHALL INSTALL A NUMBER ONE METER BOX (2 PIECES) AS  
SHOWN IN THE MATERIAL SPECIFICATIONS ITEM NO. 10-30 AND THE DD-833  
STANDARD DRAWING SERIES.  
  
CONTRACTOR TO REFER TO SAWS STANDARD DETAILS FOR ALL SAWS  
APPURTENANCES AND STRUCTURES.

CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL DATA AND INFORMATION AND THE ANTICIPATED INSTALLATIONS SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATIONS SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.



# UP

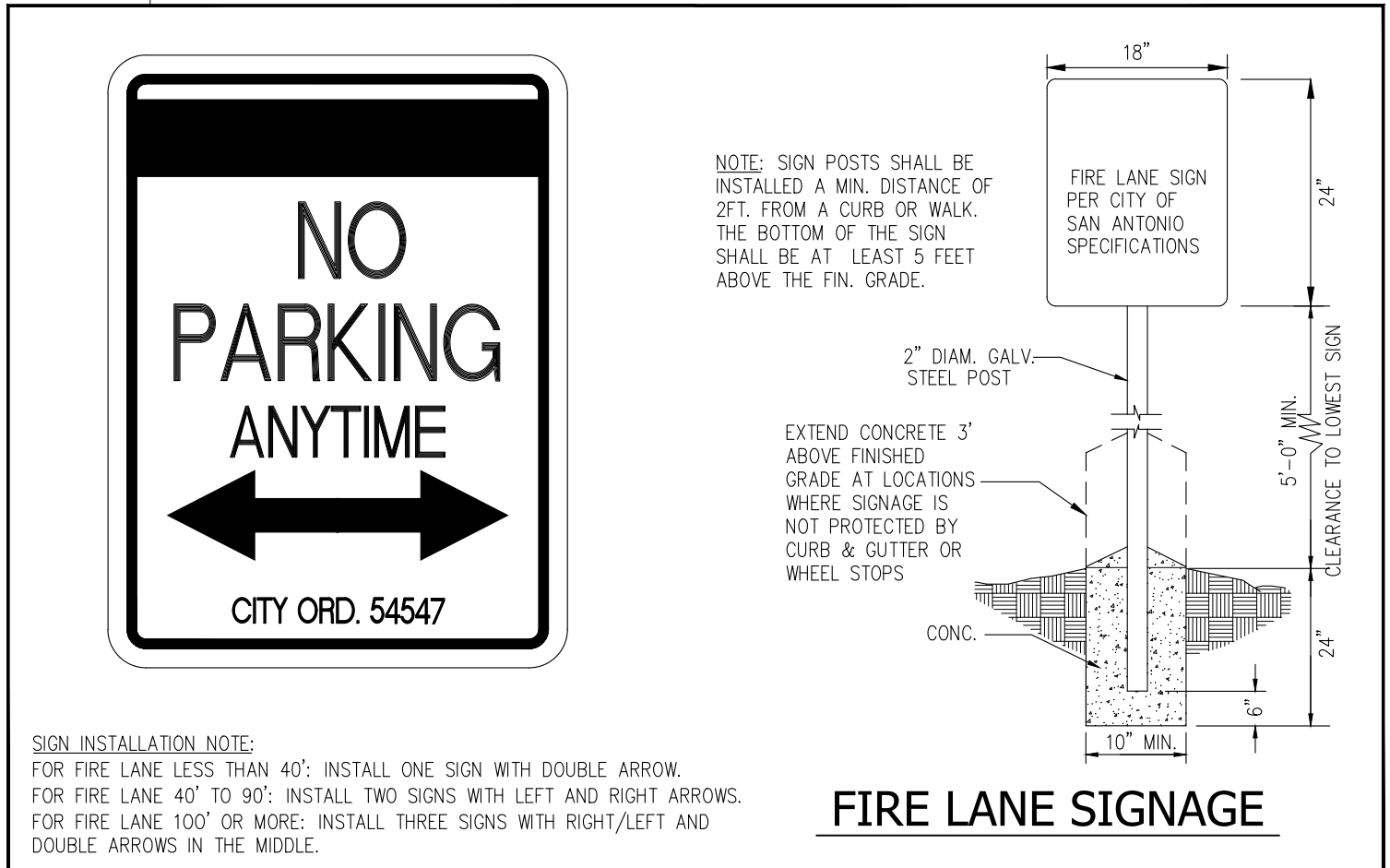
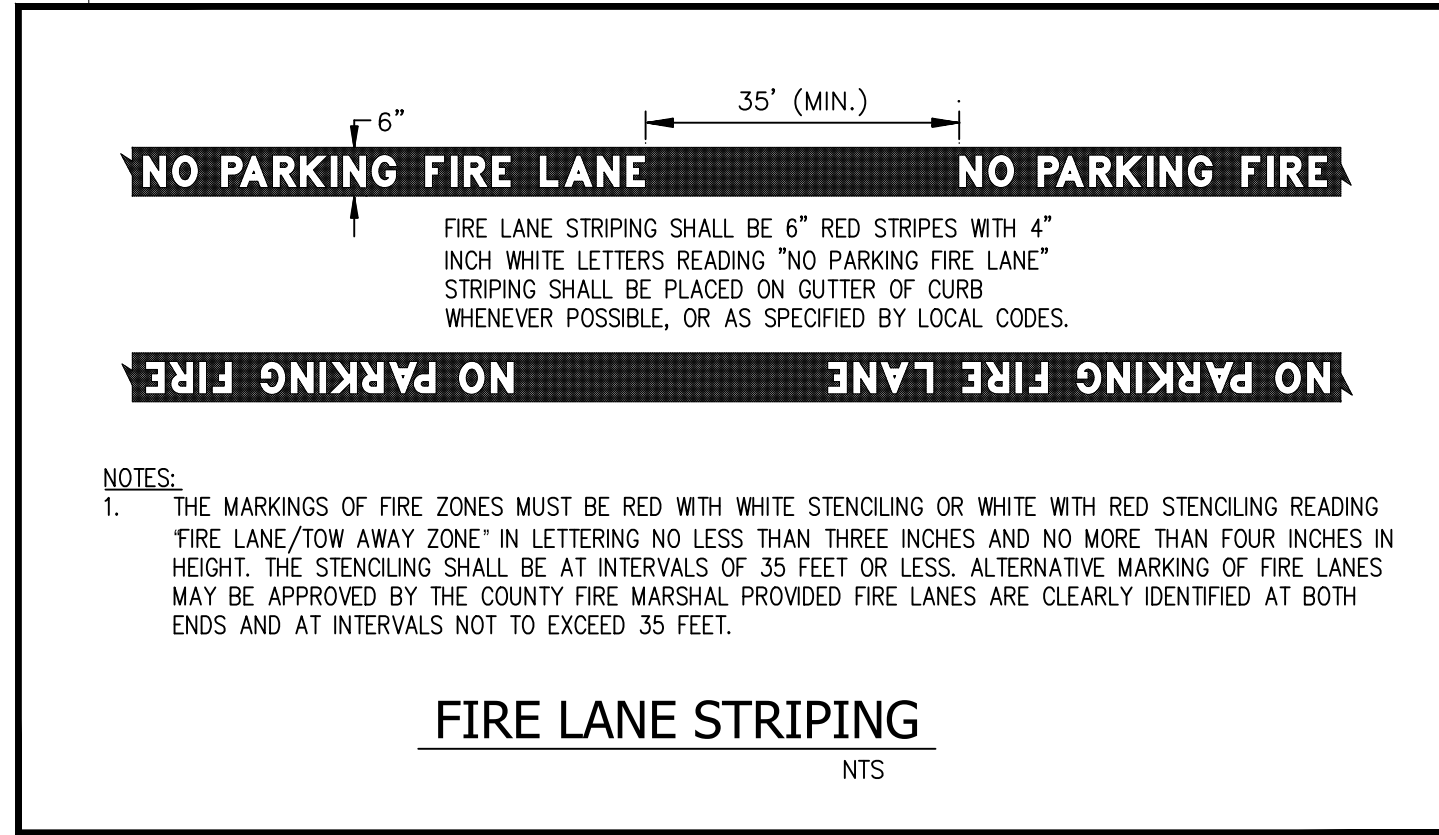
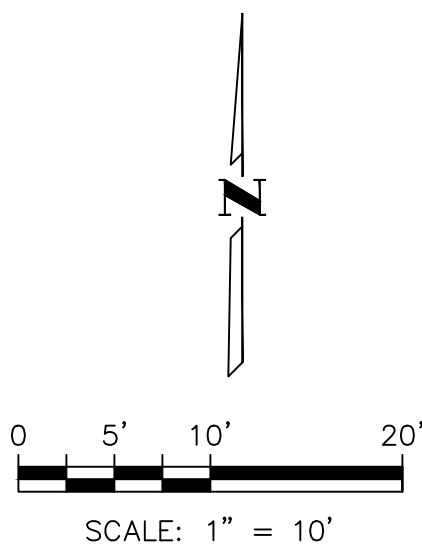
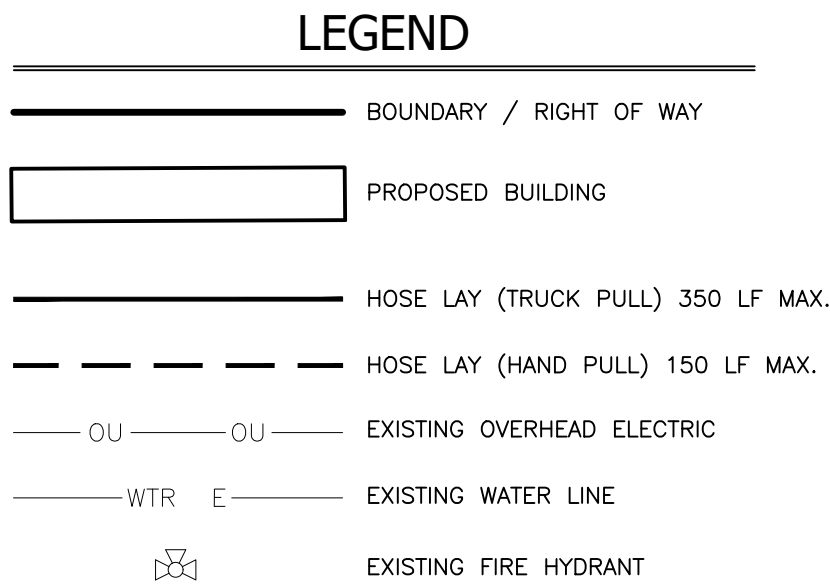


LOTS 26 & 27, BLOCK 2, N.C.B. 3856,  
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1. FIRE LANES SHALL HAVE A MINIMUM 2-WAY TRAFFIC WIDTH OF 25 FT. WITH A MINIMUM OUTSIDE TURNING RADIUS OF 50 FT., UNLESS OTHERWISE NOTED.
2. FIRE LANES NEXT TO FIRE HYDRANTS OR DESIGNATED FOR AERIAL APPARATUS SHALL BE A MINIMUM OF 26 FT.
3. FIRE LANES SHALL BE DESIGNATED IN ACCORDANCE TO THE LATEST INTERNATIONAL FIRE CODE AND PER APPLICABLE LOCAL AMENDMENTS.
4. THE SURFACE SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.

1. THERE ARE NO PROPOSED FIRE LINES FOR THIS PROJECT.
2. THERE ARE NO PROPOSED FIRE BACKFLOW PREVENTION DEVICES FOR THIS PROJECT.

PROPOSED BUILDING SIZE = 1,800 SQ. FT. (2 UNITS)  
 PROPOSED BUILDING SIZE = 3,440 SQ. FT. (1 UNIT)  
 PROPOSED BUILDING SIZE = 3,730 SQ. FT. (1 UNIT)  
 BUILDING TYPE = TYPE V-B  
 REQUIRED FIRE FLOW = MINIMUM OF 1,500 GALLONS/MINUTE @  
 20 PSI  
 NOT SPRINKLERED, 3 STORY (HEIGHT - 34' TO ROOF PARAPET)  
 AVAILABLE HYDRANTS = 1  
 ALLOWABLE TOTAL DISTANCE TO HYDRANT BY TRUCK = 350 FT  
 ALLOWABLE HAND PULL = 150 FT





## SAWS CONSTRUCTION NOTES

- All materials and construction procedures within the scope of this project shall be approved by the San Antonio Water System (SAWS) and comply with the Plans, Specifications, General Conditions, and Notes and with the following as applicable:
- A. Current Texas Commission on Environmental Quality (TCEQ) "Design Criteria for Domestic Wastewater System", Texas Administrative Code (TAC) Title 30 Part 1 Chapter 217 and "Public Drinking Water", TAC Title 30 Part 1 Chapter 290.
  - B. Current TxDOT "Standard Specification for Construction of Highways, Streets and Drainage"
  - C. Current "San Antonio Water System Standard Specifications for Water and Sanitary Sewer Construction"
  - D. Current City of San Antonio "Standard Specifications for Public Works Construction"
  - E. Current City of San Antonio "Utility Excavation Criteria Manual" (UECM).
2. The Contractor shall not proceed with any pipe installation work until they obtain a copy of the approved Counter Permit or General Construction Permit (GCP) from the Consultant and has been notified by SAWS Construction Inspection Division to proceed with the work and has arranged a meeting with the inspector and consultant for the work requirements. Work completed by the contractor without and approved Counter Permit and/or a GCP will be subject to removal and replacement at the expense of the contractor and/or the developer.
  3. The contractor shall obtain the SAWS Standard Details from the SAWS website, [http://www.saws.org/business\\_center/specs](http://www.saws.org/business_center/specs). Unless otherwise noted within the design plans.
  4. The contractor is to make arrangements with the SAWS Construction Inspection Division at (210) 233-2973, on notification procedures that will be used to notify affected home residents and/or property owners 48 hours prior to beginning any work.
  5. Location and depth of existing utilities and service laterals shown on the plans are understood to be approximate. Actual locations and depths must be field verified by the contractor at least 1 week prior to construction. It shall be the contractor's responsibility to locate utility service lines as required for construction and to protect them during construction at no cost to SAWS.
  6. The contractor shall verify the exact location of the underground utilities and drainage structures at least 1-2 weeks prior to construction whether shown on plans or not. Please allow up to 7 business days for locates requesting pipe location markers on SAWS facilities. The following contact information are supplied for verification purposes:  
  
SAWS Utility Locates: <http://www.saws.org/Service/Locates>  
COSA Drainage 210-207-0724 or (210) 207-6026  
COSA Traffic Signal Operations (210)-206-8480  
COSA Traffic Signal Maintenance (210)-207-3951  
Texas State Wide One Call Locator 1-800-545-6005 or 811
  7. The Contractor shall be responsible for restoring existing fences, curbs, streets, driveways, driveways, landscaping and structures to its original or better condition if damages are made as a result of the project's construction.
  8. All work in Texas Department of Transportation (TxDOT) and/or Bexar County right-of-way shall be done in accordance with respective construction specifications and permit requirements.
  9. The contractor shall comply with City of San Antonio or other governing municipality's tree ordinances when excavating near trees.
  10. The contractor shall not place any waste material in the 100-year Flood Plain without first obtaining an approved Flood Plain Permit.
  11. Holiday work: Contractors will not be allowed to perform SAWS work on SAWS recognized holidays. Requests should be sent to [constrworkreq@saws.org](mailto:constrworkreq@saws.org).  
  
Weekend work: Contractors are required to notify the SAWS Inspection Construction Department 48 hours in advance to request weekend work. Request should be sent to [constrworkreq@saws.org](mailto:constrworkreq@saws.org).  
  
Any and all SAWS utility work installed without holiday/weekend approval will be subject to be uncovered for proper inspection.
  12. Compaction note (Item 804): The contractor shall be responsible for meeting the compaction requirements on all trench backfill and paying for the tests performed by a third party. Compaction tests will be done at one location point randomly selected, or as indicated by the SAWS Inspector and/or the test administrator, per each 12-inch loose lift per 400 linear feet at a minimum. This project will not be accepted and finalized by SAWS without this requirement being met and verified by providing all necessary documented test results.
  13. A copy of all testing reports shall be forwarded to SAWS Construction Inspection Division.

WATER SECTION

- Prior to tie-ins, shutdowns of existing mains of any size must be coordinated with SAWS Construction Inspection Division at least one week in advance of the shutdown. The contractor must also provide a sequence of work as related to the tie-ins; this is at no additional cost to SAWS or the project and it is the responsibility of the contractor to sequence the work accordingly.
- For water mains 12" or higher: SAWS Emergency Operation Center (210) 233-1414.
2. Asbestos Cement (AC) Pipe, also known as transite pipe which is known to contain asbestos-containing material (ACM), may be located within the project limits. Special waste management procedures and health and safety requirements will be applicable when removal and/or disturbance of this pipe occurs. Such work is to be made under Special Specification Item No. 3000, "Special Specification for Handling Asbestos Cement Pipe".
  3. Valve removal: Where the contractor is to abandon a water main, the control valve located on the abandoning branch will be removed and replaced with a cap/plug. (NSPI)
  4. Suitable anchorage/thrust blocking or joint restraint shall be provided at all of the following main locations: dead ends, plugs, caps, tees, crosses, valves and bends, in accordance with the Standard Drawings DD-839 series and Item No. 839, in the SAWS Standard Specifications for Construction.
  5. All valves shall read "open right"
  6. PRVs Required: Contractor to verify that no portion of the tract is below ground elevation of 745 feet where the static pressure will normally exceed 80 PSI. At all such locations where the ground level is below 745 feet, the Developer or Builder shall install at each lot, on the customer's side of the meter, an approved type pressure regulator in conformance with the Plumbing Code of the City of San Antonio. No dual services allowed for any lot(s) if \*PRV is/are required for such lot(s), only single service connections shall be allowed. \*Note: A pressure regulator is also known as a pressure reducing valve (PRV).
  7. Pipe Disinfection with Dry HTH for Projects less than 800 linear feet. (Item #847.3): Mains shall be disinfected with dry HTH where shown in the contract documents or as directed by the Inspector, and shall not exceed a total length of 800 feet. This method of disinfection will also be followed for main repairs. The Contractor shall utilize all appropriate safety measure to protect his personnel during disinfection operations.
  8. Backflow Prevention Devices:

All irrigation services within residential areas are required to have backflow prevention devices.

All commercial backflow prevention devices must be approved by SAWS prior to installation.
  9. Final connection to the existing water main shall not be made until the water main has been pressure tested, chlorinated and SAWS has released the main for tie-in and use.



**ARCHITECTURA SA, INC.**  
17038 REDLAND ROAD, SUITE 101,  
SAN ANTONIO, TEXAS 78247

255 BRAHAN BOULEVARD

# SAWS WATER NOTES

										BY
										DESCRIPTION
										DATE
										REV
DESIGNED BY:										WPF
DRAFTED BY:										JWH
CHECKED BY:										NFU

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SAWS CONSTRUCTION NOTES

- All materials and construction procedures within the scope of this project shall be approved by the San Antonio Water System (SAWS) and comply with the Plans, Specifications, General Conditions and with the following as applicable:
- A. Current Texas Commission on Environmental Quality (TCEQ) "Design Criteria for Domestic Wastewater System", Texas Administrative Code (TAC) Title 30 Part 1 Chapter 217 and "Public Drinking Water", TAC Title 30 Part 1 Chapter 290.
  - B. Current TxDOT "Standard Specification for Construction of Highways, Streets and Drainage"
  - C. Current "San Antonio Water System Standard Specifications for Water and Sanitary Sewer Construction"
  - D. Current City of San Antonio "Standard Specifications for Public Works Construction"
  - E. Current City of San Antonio "Utility Excavation Criteria Manual" (UECM).
2. The Contractor shall not proceed with any pipe installation work until they obtain a copy of the approved Counter Permit or General Construction Permit (GCP) from the Consultant and has been approved by SAWS Construction Inspection Division to proceed with the work and has arranged a meeting with the inspector and consultant for the work requirements. Work completed by the contractor without and approved Counter Permit and/or a GCP will be subject to removal and replacement at the expense of the contractor and/or the developer.
3. The contractor shall obtain the SAWS Standard Details from the SAWS website, [http://www.saws.org/business\\_center/specs](http://www.saws.org/business_center/specs). Unless otherwise noted within the design plans.
4. The contractor is to make arrangements with the SAWS Construction Inspection Division at (210) 233-2973, on notification procedures that will be used to notify affected home residents and/or property owners 48 hours prior to beginning any work.
5. Location and depth of existing utilities and service laterals shown on the plans are understood to be approximate actual locations and depths must be field verified by the contractor at least 1 week prior to construction. It shall be the contractor's responsibility to locate utility service lines as required for construction and to protect them during construction at no cost to SAWS.
6. The contractor shall verify the exact location of the underground utilities and drainage structures at least 1-2 weeks prior to construction whether shown on plans or not. Please allow up to 7 business days for locates requesting pipe location markers on SAWS facilities. The following contact information are supplied for verification purposes:
- SAWS Utility Locates: <http://www.saws.org/Service/Locates>
- |                                   |                                |
|-----------------------------------|--------------------------------|
| COSA Drainage                     | 210-207-0724 or (210) 207-6026 |
| COSA Traffic Signal Operations    | (210)-206-8480                 |
| COSA Traffic Signal Damages       | (210)-207-3951                 |
| Texas State Wide One Call Locator | 1-800-545-6005 or 811          |
7. The Contractor shall be responsible for restoring existing fences, curbs, streets, driveways, driveways, landscaping and structures to its original or better condition if damages are made as a result of the project's construction.
8. All work in Texas Department of Transportation (TxDOT) and/or Bexar County right-of-way shall be done in accordance with respective construction specifications and permit requirements.
9. The contractor shall comply with City of San Antonio or other governing municipality's tree ordinances when excavating near trees.
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11. Holiday work: Contractors will not be allowed to perform SAWS work on SAWS recognized holidays. Requests should be sent to [constworkreg@saws.org](mailto:constworkreg@saws.org).
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- Any and all SAWS utility work installed without holiday/weekend approval will be subject to be uncovered for proper inspection.
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13. A copy of all testing reports shall be forwarded to SAWS Construction Inspection Division.

## SEWER NOTES

- The contractor is responsible for ensuring that no Sanitary Sewer Overflow (SSO) occurs as a result of their work. All contractor personnel responsible for SSO prevention and control shall be trained on proper response. Should an SSO occur, the contractor shall:
- Identify the source of the SSO and notify SAWS Emergency Operations Center (EOC) immediately at (210) 233-2014. Provide the address of the spill and estimated volume or flow.
  - Attempt to eliminate the source of the SSO.
  - Contain sewage from the SSO to the extent of preventing a possible contamination of waterways.
  - Clean up spill site (return contained sewage to the collection system if possible) and properly dispose of contaminated soil/materials.
  - Clean the affected sewer mains and remove any debris.
  - Meet all post-SSO requirements as per the EPA Consent Decree, including line cleaning and televising the affected sewer mains (at SAWS direction) within 24 hours.
- Should the contractor fail to address an SSO immediately and to SAWS satisfaction, they will be responsible for all costs incurred by SAWS, including any fines from EPQ, TCEQ and/or any other Federal, State or Local Agencies.
- No separate measurement or payment shall be made for this work. All work shall be done according to guidelines set by the TCEQ and SAWS.
- If bypass pumping is required, the contractor shall perform such work in accordance with SAWS Standard Specifications for Water and Sanitary Sewer Construction, Item No. 864, "Bypass Pumping".
  - Prior to tie-ins, any shutdowns of existing force mains of any size must be coordinated with the SAWS Construction Inspection Division at (210) 233-2973 at least one week in advance of the shutdown. The contractor must also provide a sequence of work as related to the tie-ins; this is at no additional cost to SAWS or the project and it is the responsibility of the contractor to sequence the work accordingly.
  - Sewer pipe where water lines cross shall be 160 psi and meet the requirements of ASTM D2241 TAC 217.53 and TCEQ 290.44(e)(4)(B). Contractor shall center a 20" joint of 160 psi pressure rated PVC at the proposed water crossing.
  - ELEVATIONS POSTED FOR TOP OF MANHOLES ARE FOR REFERENCE ONLY: It shall be the responsibility of the contractor to make allowances and adjustments for top of manholes to match the finished grade of the project's improvements. (NSPI)
  - Spills, Overflows or Discharges of Wastewater: All spills, overflows or discharges of wastewater, recycled water, petroleum products or chemicals must be reported immediately to the SAWS Inspector assigned to the Counter Permit or General Construction Permit (GCP). This requirement applies to every spill, overflow or discharge regardless of size.
  - Manhole and all pipe testing (including the TV inspection) must be performed and passed prior to Final Field Acceptance by SAWS Construction Inspection Division, as per the SAWS Specifications for Water and Sanitary Sewer Construction.
  - All PVC pipe over 14 feet of cover shall be extra strength with minimum pipe stiffness of 115 psi.

Should the contractor fail to address an SSO immediately and to SAWS satisfaction, they will be responsible for all costs incurred by SAWS, including any fines from EPQ, TCEQ and/or any other Federal, State or Local Agencies.

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**UP**  
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111903 JONES MALTSBERGER ROAD, SUITE 102  
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SAWS SANITARY SEWER NOTES

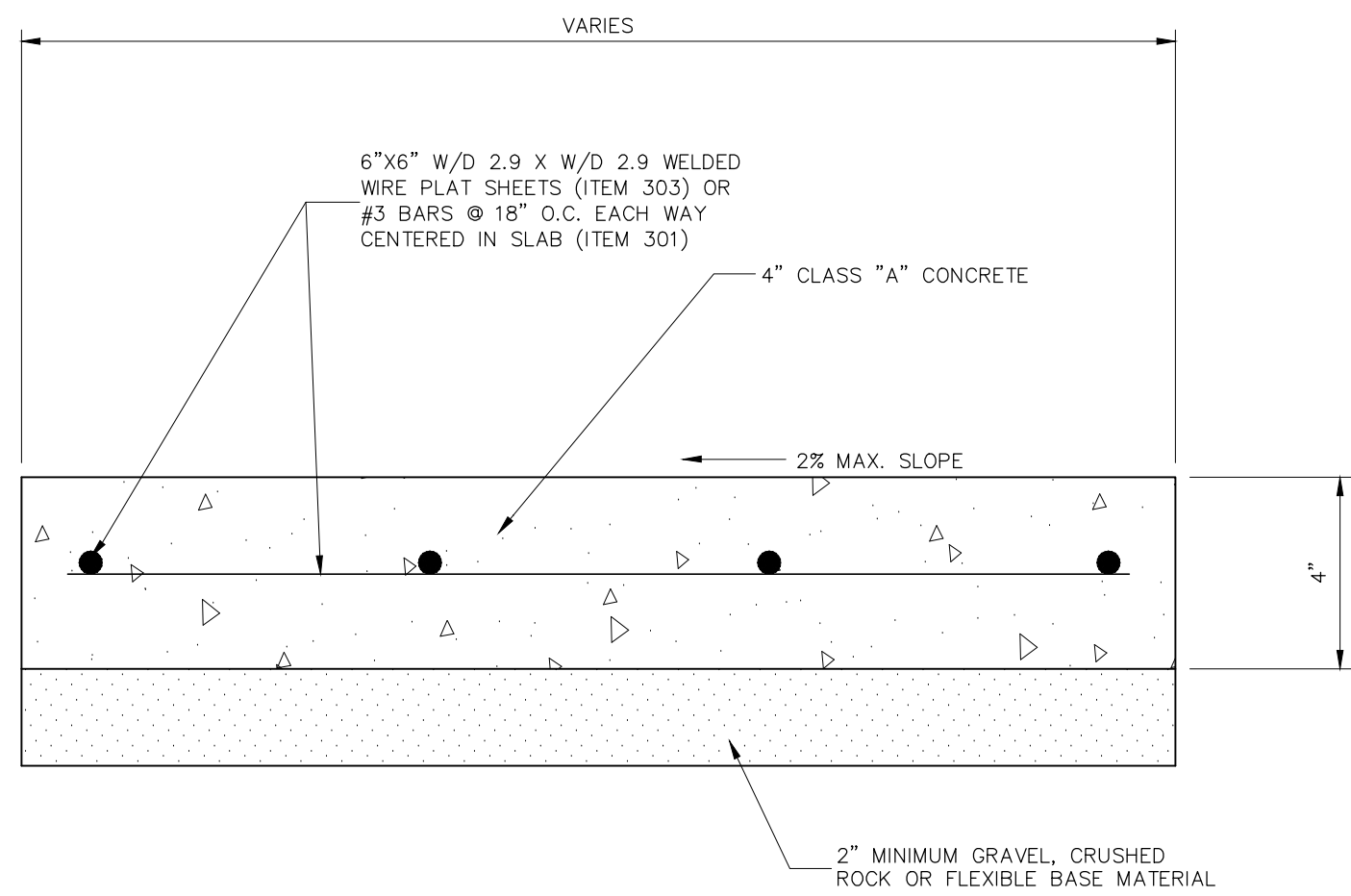
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DRAFTED BY:	JWH		
CHECKED BY:	NFU		

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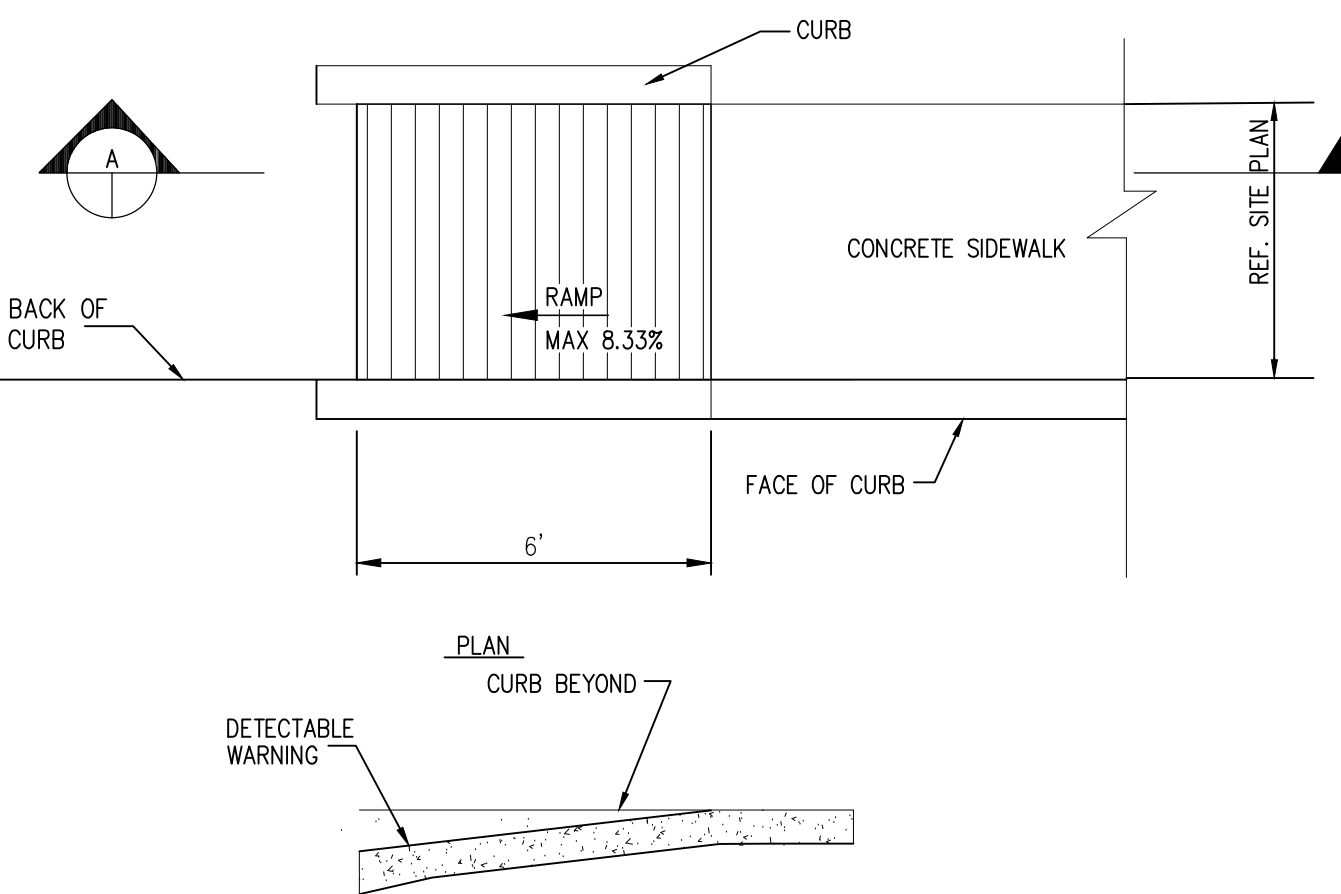
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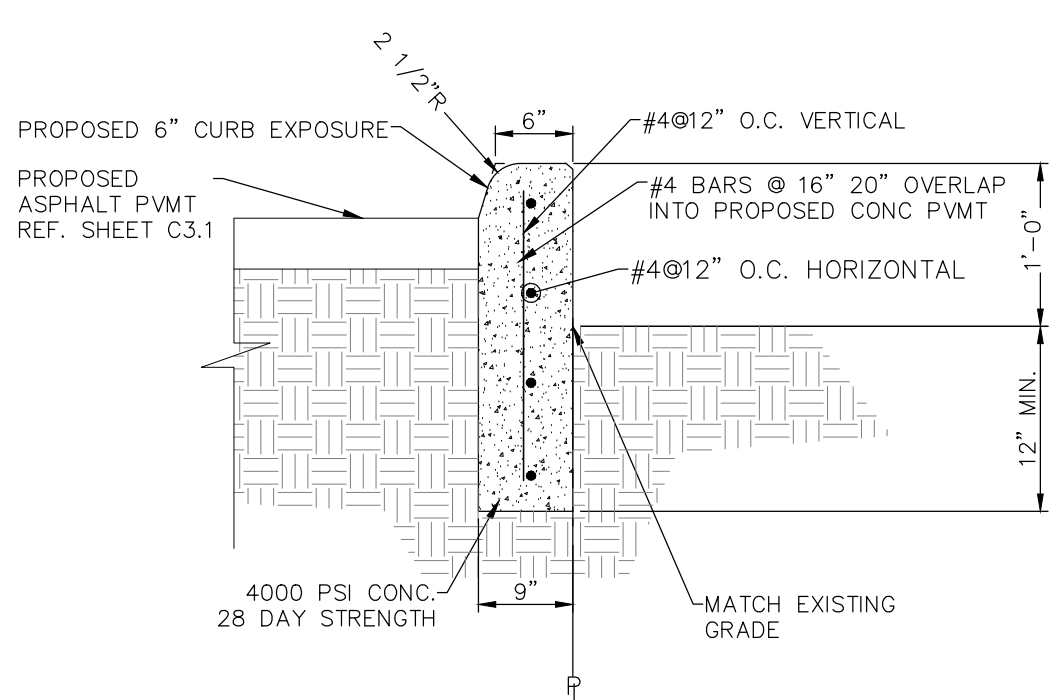




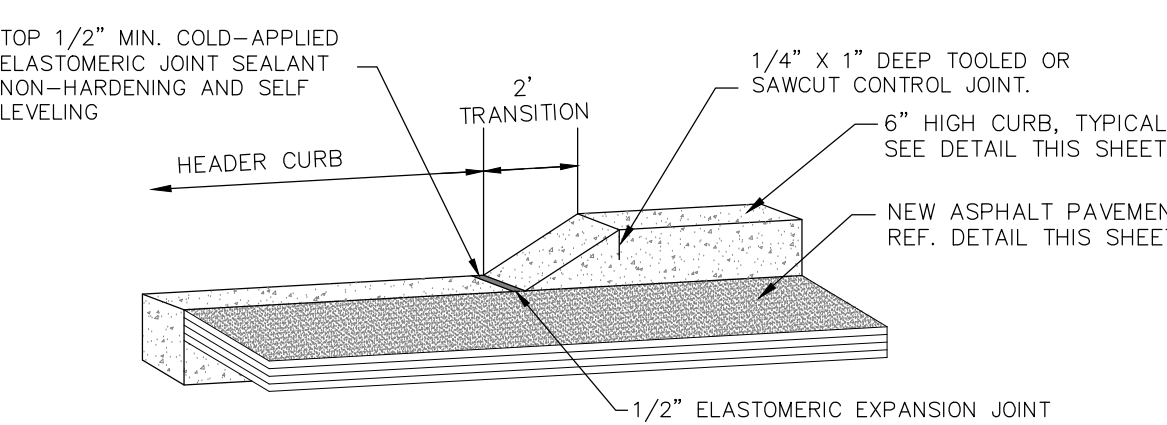
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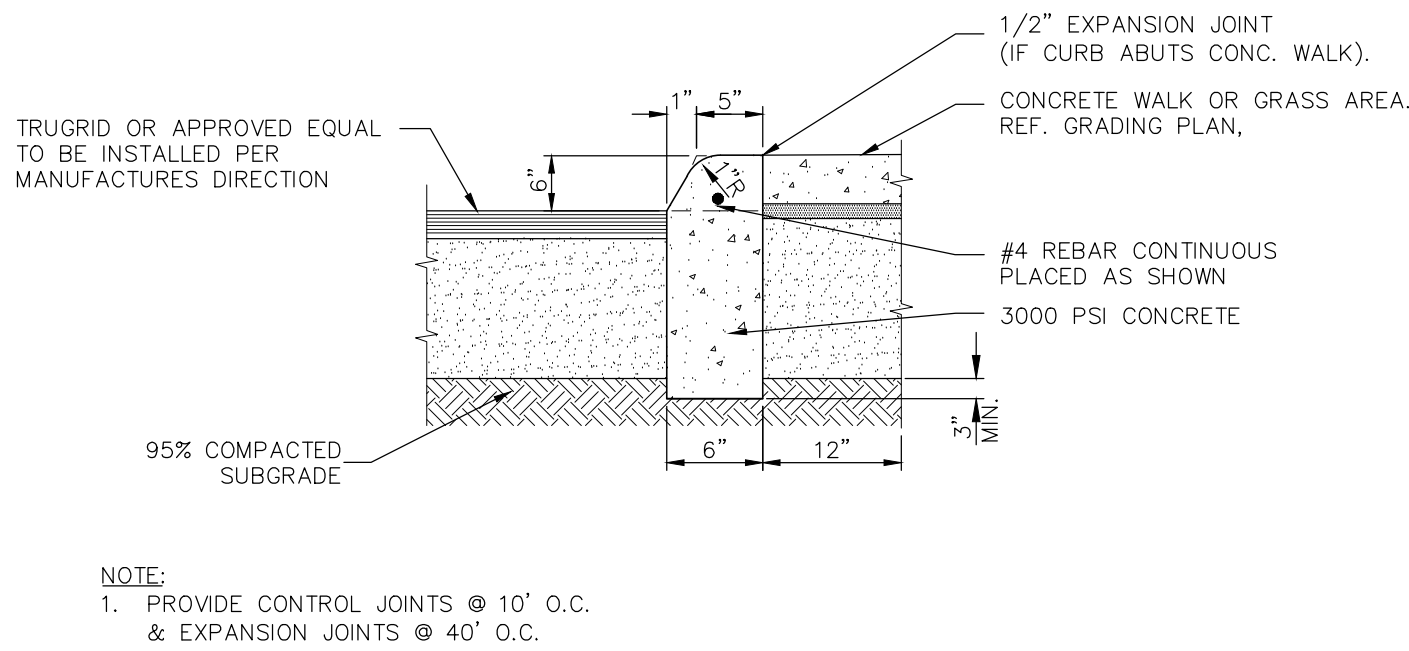
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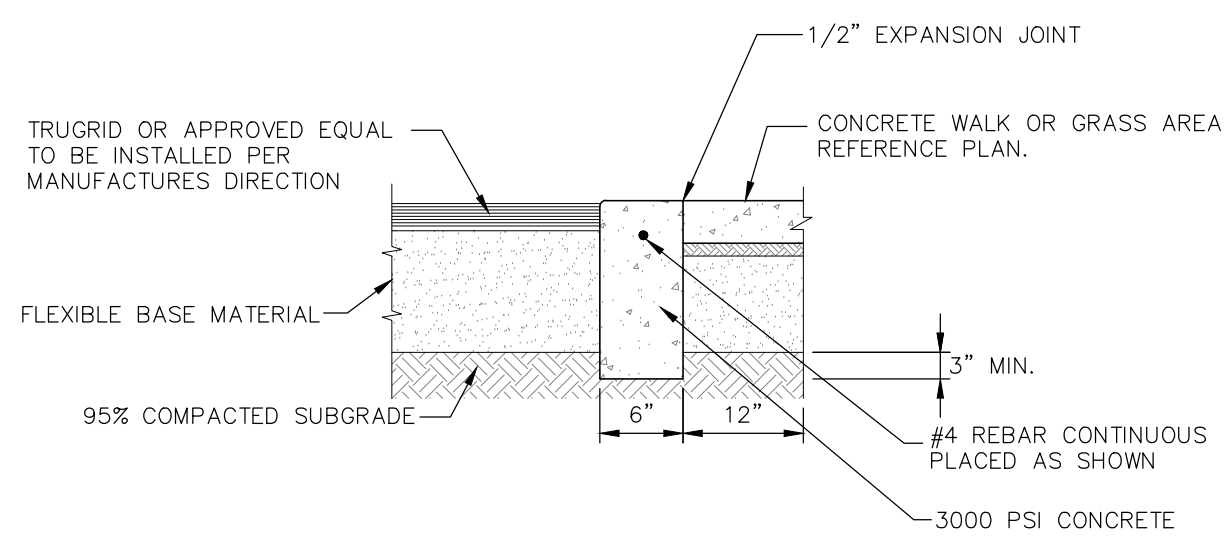
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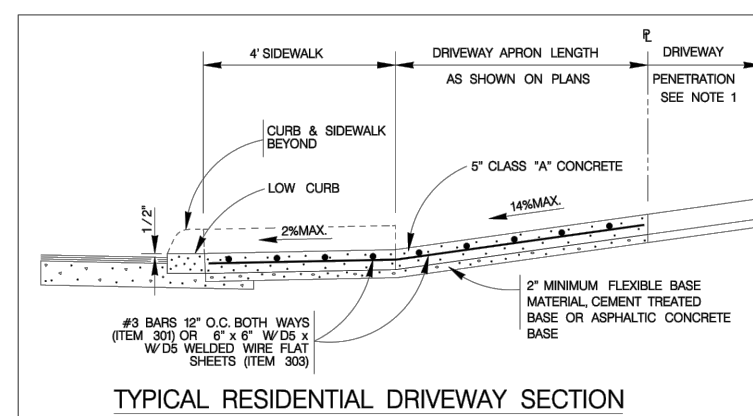
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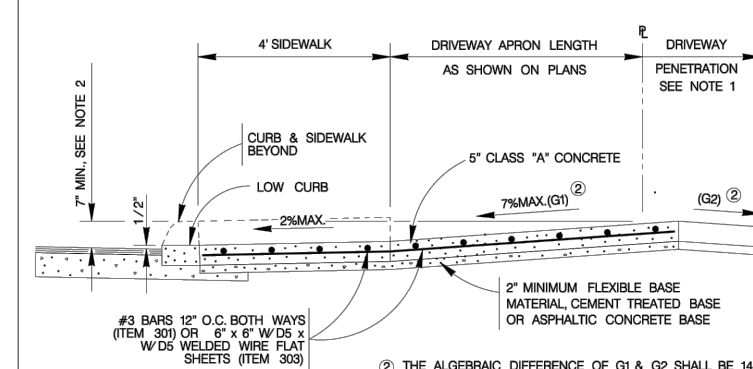
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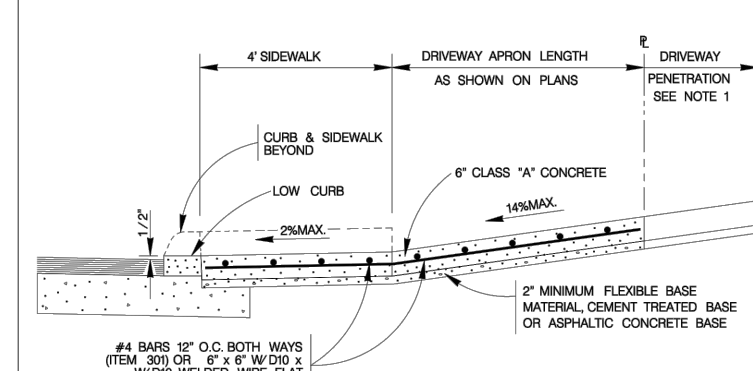
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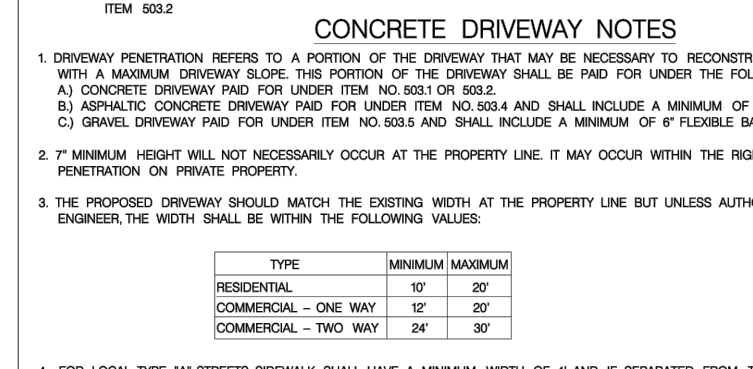
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TYPICAL RESIDENTIAL DRIVEWAY SECTION



TYPICAL RESIDENTIAL DRIVEWAY SECTION

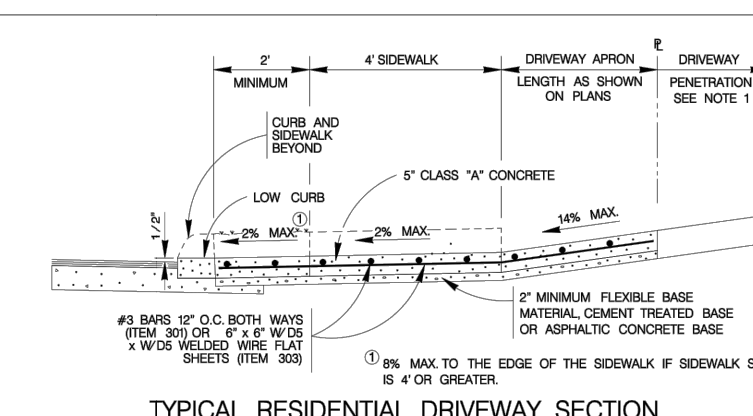


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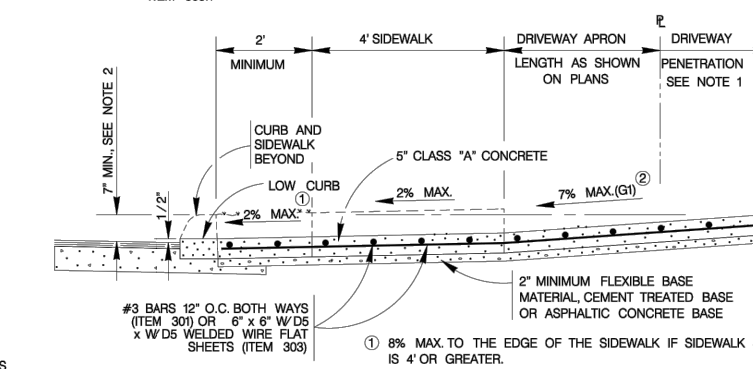
CONCRETE DRIVEWAY NOTES

- DRIVEWAY PENETRATION REFERS TO A PORTION OF THE DRIVEWAY THAT MAY BE NECESSARY TO RECONSTRUCT WITHIN PRIVATE PROPERTY TO COMPLY WITH A MINIMUM DRIVEWAY BLOW THE PAVEMENT OF THE DRIVEWAY SHALL BE PAID FOR UNDER THE FOLLOWING ITEMS AS SHOWN:
  - A) CONCRETE DRIVEWAY PAV FOR UNDER ITEM NO. 803 OR 803.1
  - B) ASPHALT DRIVEWAY PAV FOR UNDER ITEM NO. 803.1 AND SHALL INCLUDE A MINIMUM OF 1" ASPHALT TYPE 1'S & 8" FLEXIBLE BASE
  - C) GRAVEL DRIVEWAY PAV FOR UNDER ITEM NO. 803.1 AND SHALL INCLUDE A MINIMUM OF 8" FLEXIBLE BASE
- MINIMUM HEADSOT WILL NOT NECESSARILY OCCUR AT THE PROPERTY LINE. IT MAY OCCUR WITHIN THE RIGHT-OF-WAY OR WITHIN THE DRIVEWAY PENETRATION ON PRIVATE PROPERTY.
- THE PROPOSED DRIVEWAY SHOULD MATCH THE EXISTING WIDTH AT THE PROPERTY LINE BUT UNLESS AUTHORIZED BY THE CITY TRAFFIC ENGINEER, THE WIDTH SHALL BE THE FOLLOWING VALUES:
 

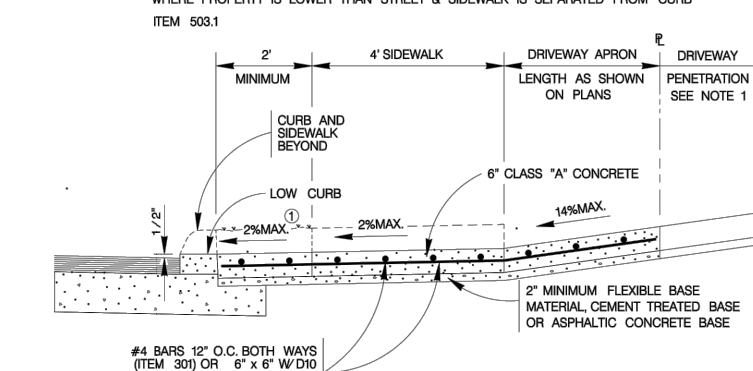
TYPE	MINIMUM	MAXIMUM
RESIDENTIAL - ONE WAY	12'	20'
RESIDENTIAL - TWO WAY	24'	30'
- FOR LOCAL TYPE 'X' STREETS, SIDEWALK SHALL HAVE A MINIMUM WIDTH OF 4' AND IF SEPARATED FROM THE CURB, THE SIDEWALK SHALL BE LOCATED A MINIMUM OF 2' FROM THE BACK OF CURB.
- FOR OTHER THAN LOCAL TYPE 'X' STREETS, THE SIDEWALK SHALL HAVE A MINIMUM WIDTH OF 4' AND SEPARATED A MINIMUM OF 2' FROM THE BACK OF CURB OR AS AN OPTION, THE SIDEWALK SHALL HAVE A MINIMUM WIDTH OF 6' WHEN LOCATED AT THE BACK OF CURB.
- DUMM JOINTS PARALLEL TO THE CURB SHALL BE PLACED WHERE THE SIDEWALK MEETS THE DRIVEWAY. DUMM JOINTS PERPENDICULAR TO THE CURB AND WITHIN THE BOUNDARIES OF THE PARALLEL DUMM JOINTS SHALL BE PLACED AT INTERVALS EQUAL TO THE WIDTH OF THE SIDEWALK.
- A MINIMUM OF TWO ROUNDS AND SMOOTH DOWEL BARS 5/8" IN DIAMETER AND 18" LONG SHALL BE SPACED 18" APART AT EACH EXPANSION JOINT.
- SIDEWALK RAMP LENGTHS SHALL BE OF SUFFICIENT LENGTH TO MAINTAIN 8.33% (1/12) MAXIMUM SLOPE WHERE SIDEWALKS CROSS DRIVEWAYS. SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2%.
- SIDEWALK RAMP SURFACE SHALL BE BRUSH FINISHED.



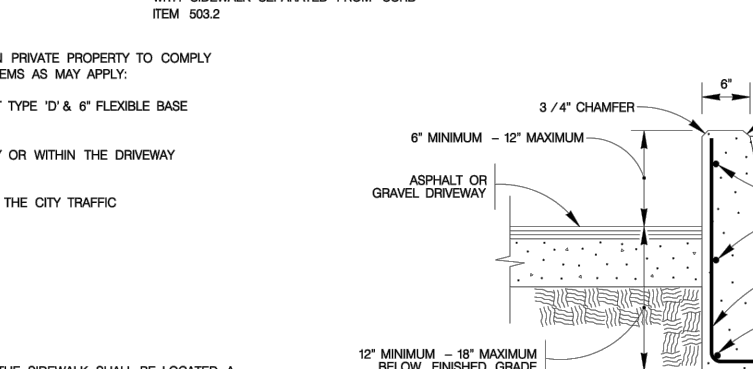
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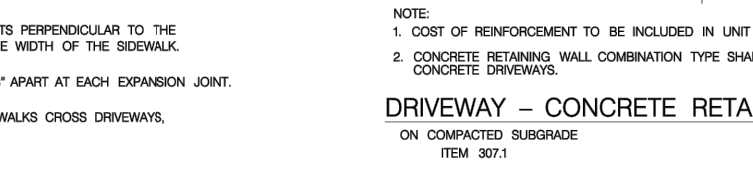
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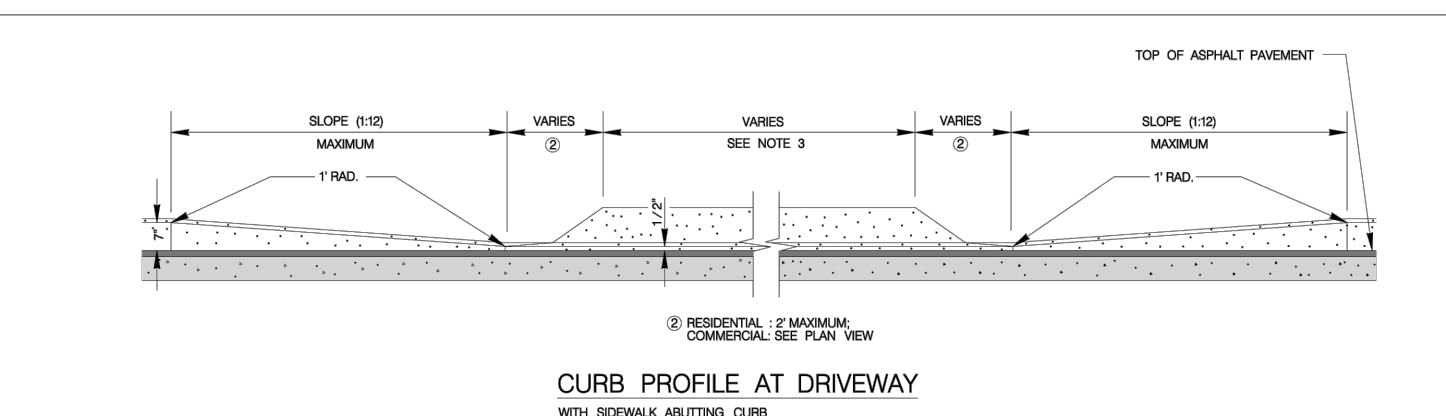
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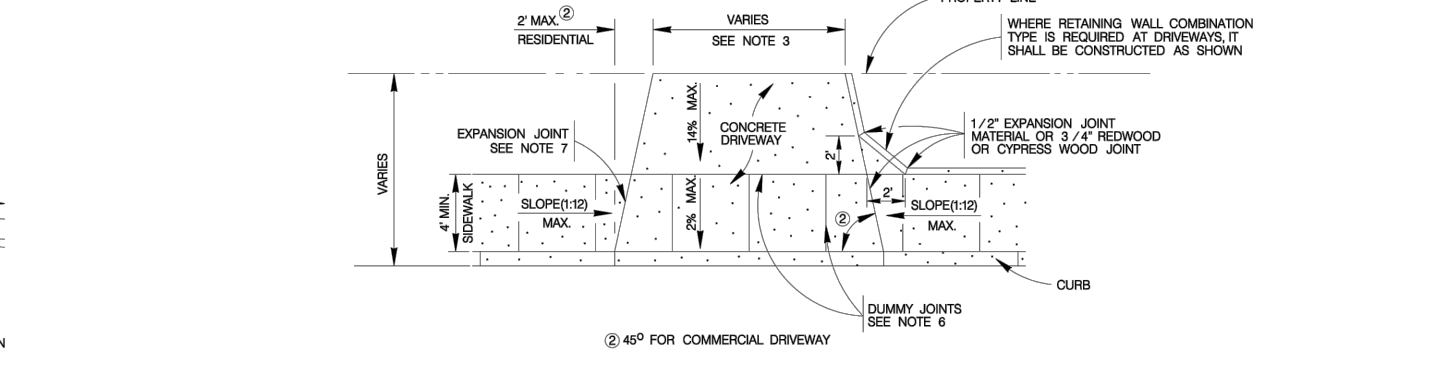
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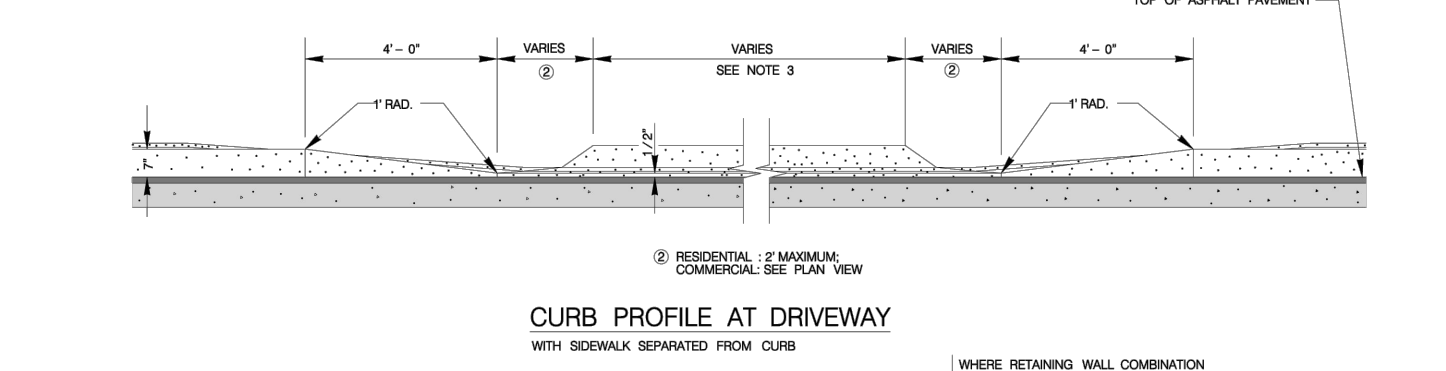
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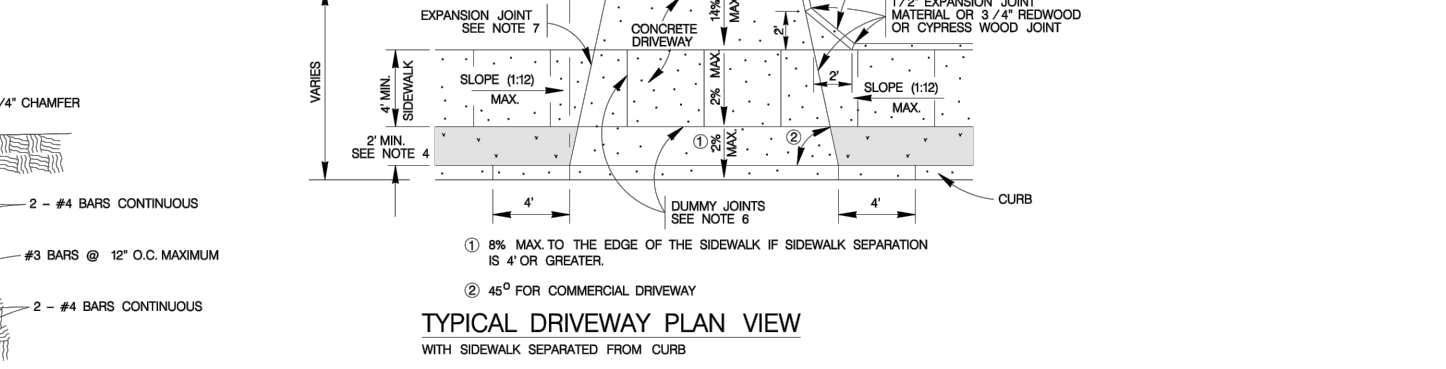
CURB PROFILE AT DRIVEWAY



TYPICAL DRIVEWAY PLAN VIEW



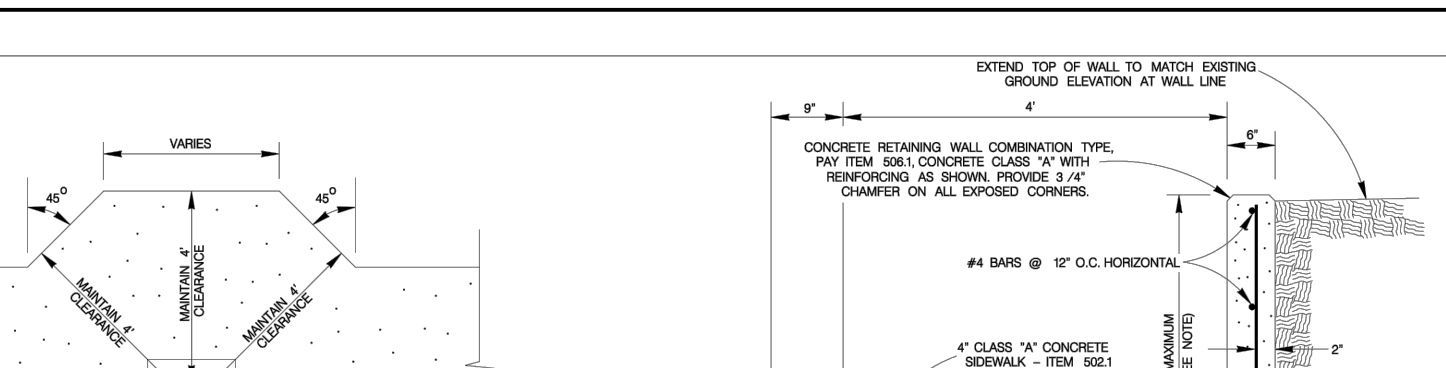
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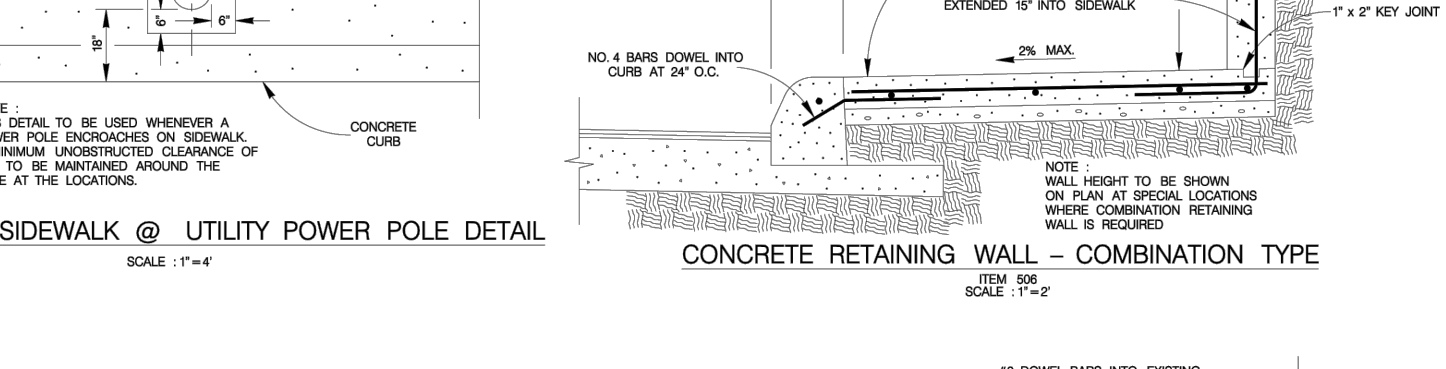
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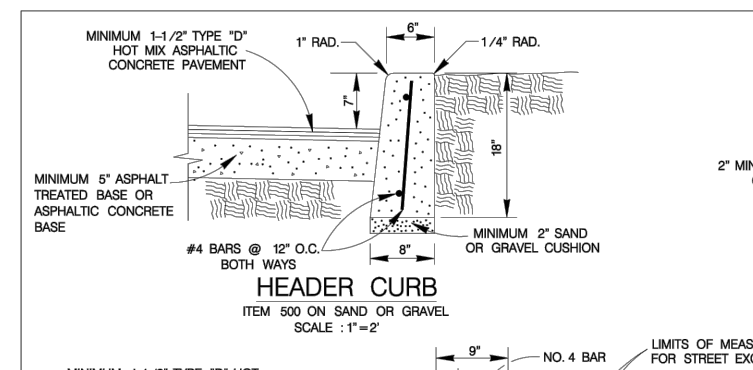
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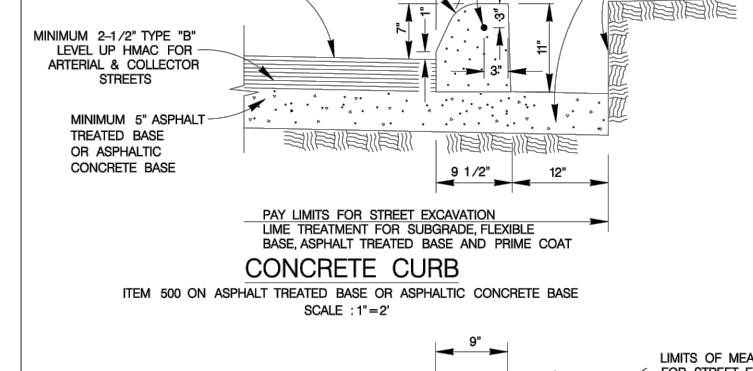
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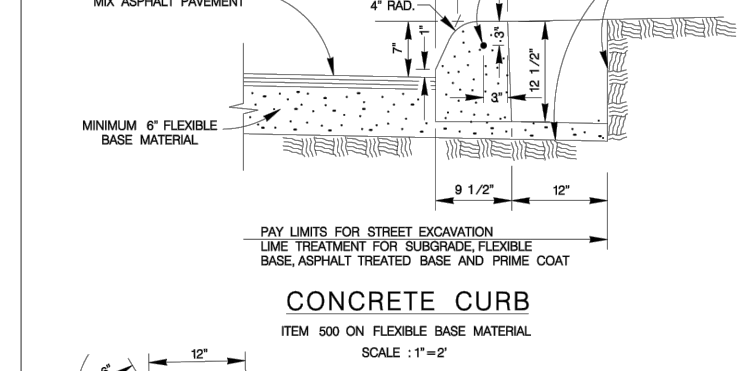
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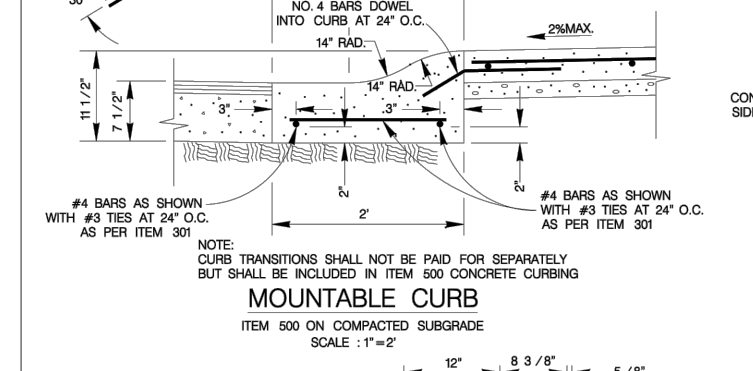
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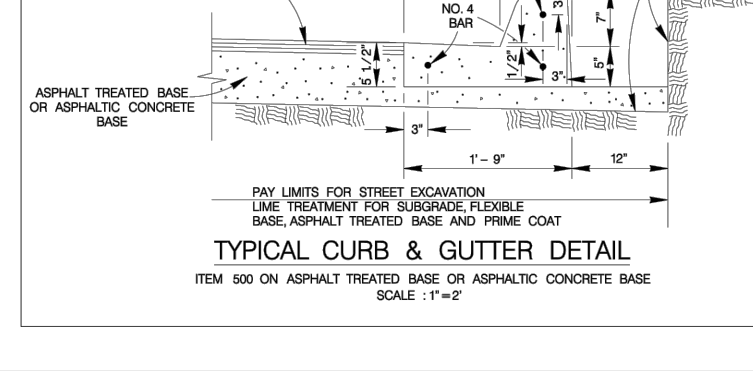
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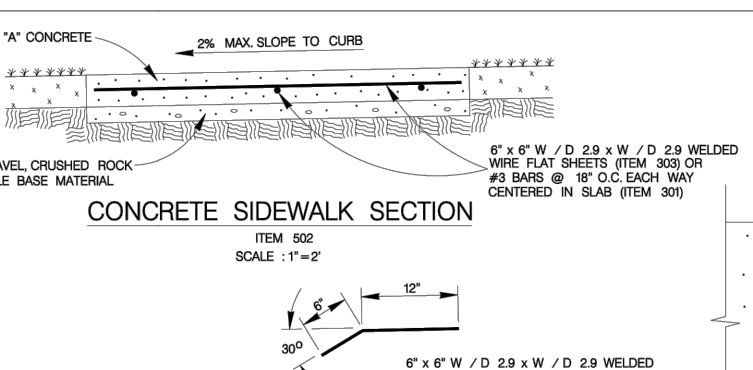
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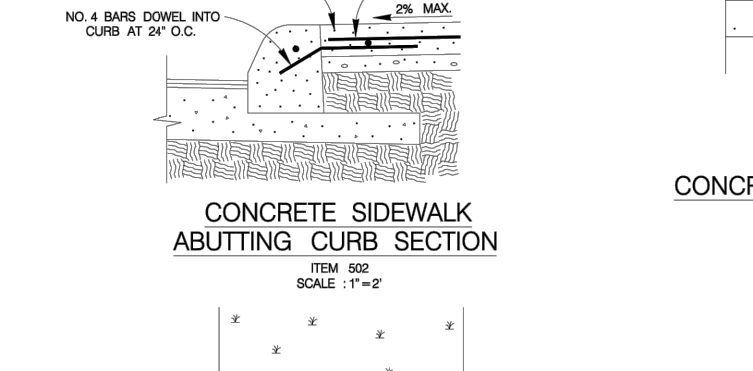
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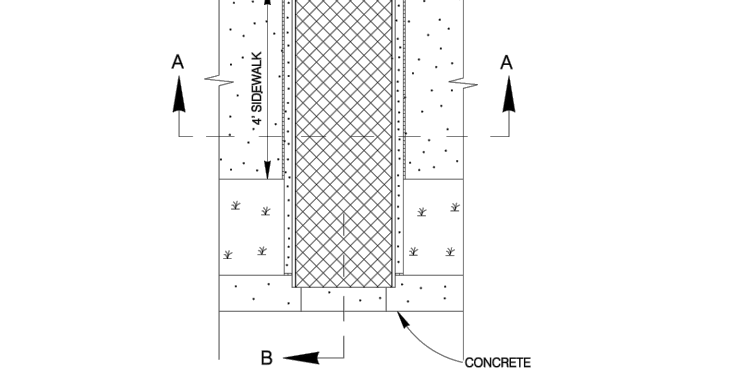
TYPICAL CURB & GUTTER DETAIL



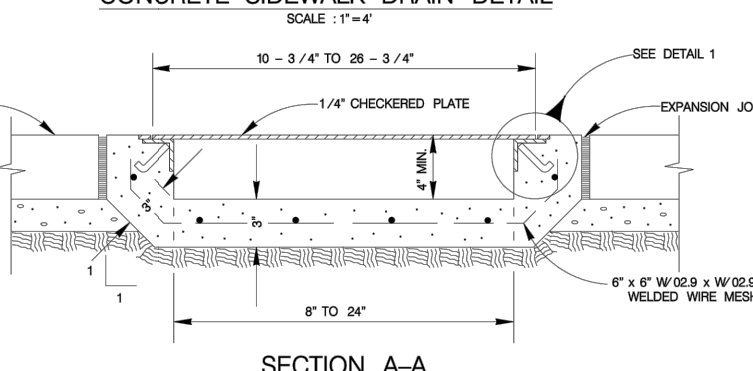
CONCRETE SIDEWALK DRAIN DETAIL



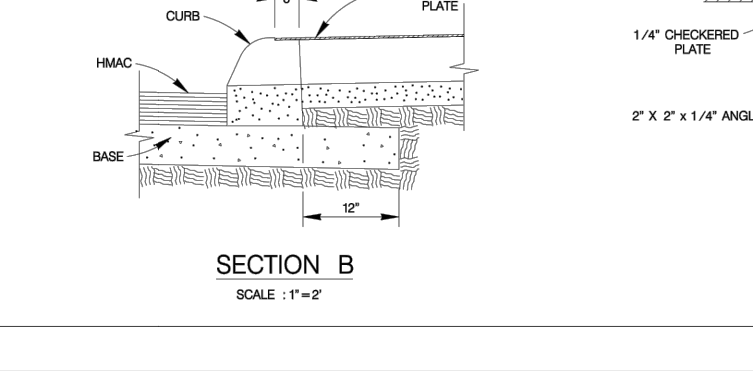
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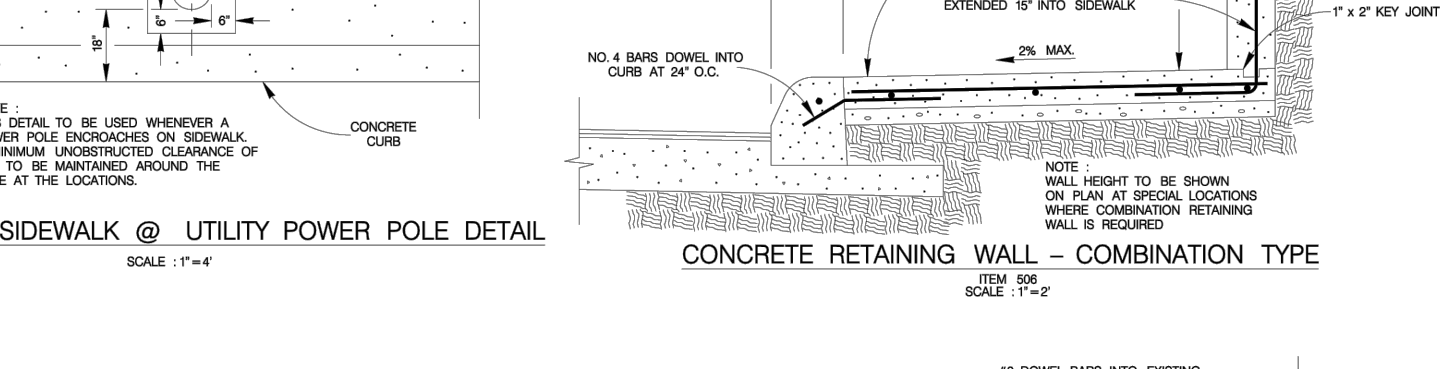
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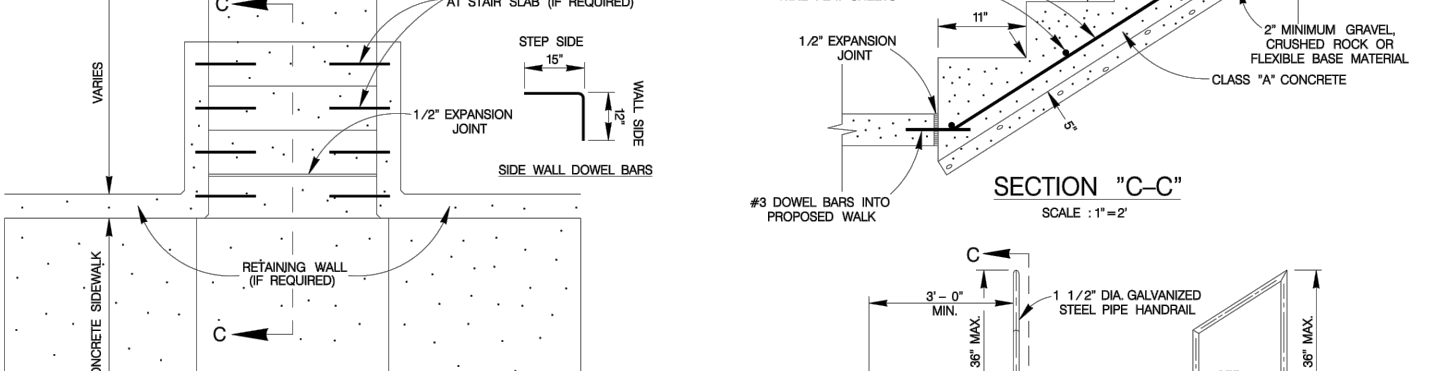
CONCRETE SIDEWALK DRAIN DETAIL



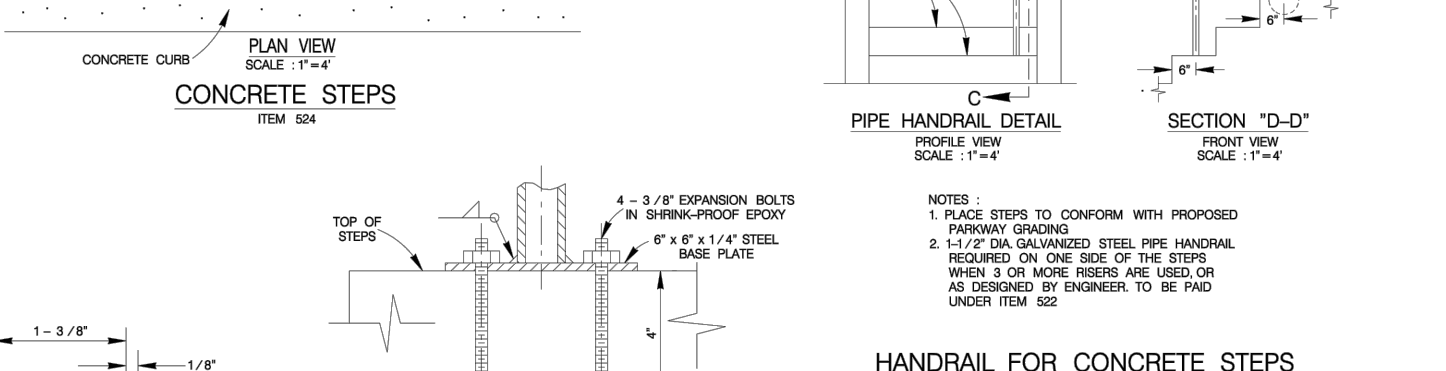
CONCRETE SIDEWALK DRAIN DETAIL



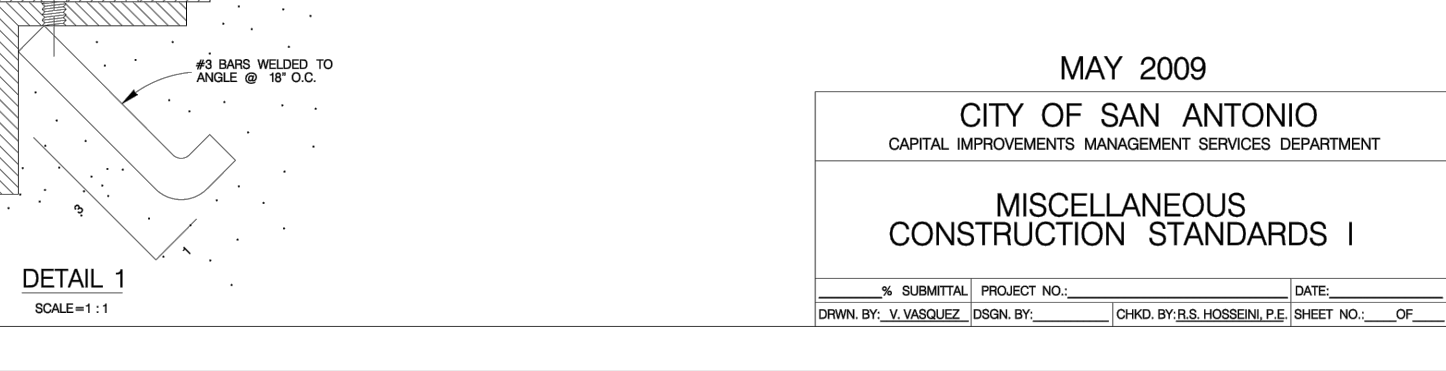
CONCRETE SIDEWALK DRAIN DETAIL



CONCRETE SIDEWALK DRAIN DETAIL



CONCRETE SIDEWALK DRAIN DETAIL



CONCRETE SIDEWALK DRAIN DETAIL

MAY 2009  
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CAPITAL IMPROVEMENTS MANAGEMENT SERVICES DEPARTMENT  
MISCELLANEOUS  
CONSTRUCTION STANDARDS I

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WWW.OPENINGUPENGINEERING.COM  
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FAX 210-774-5504



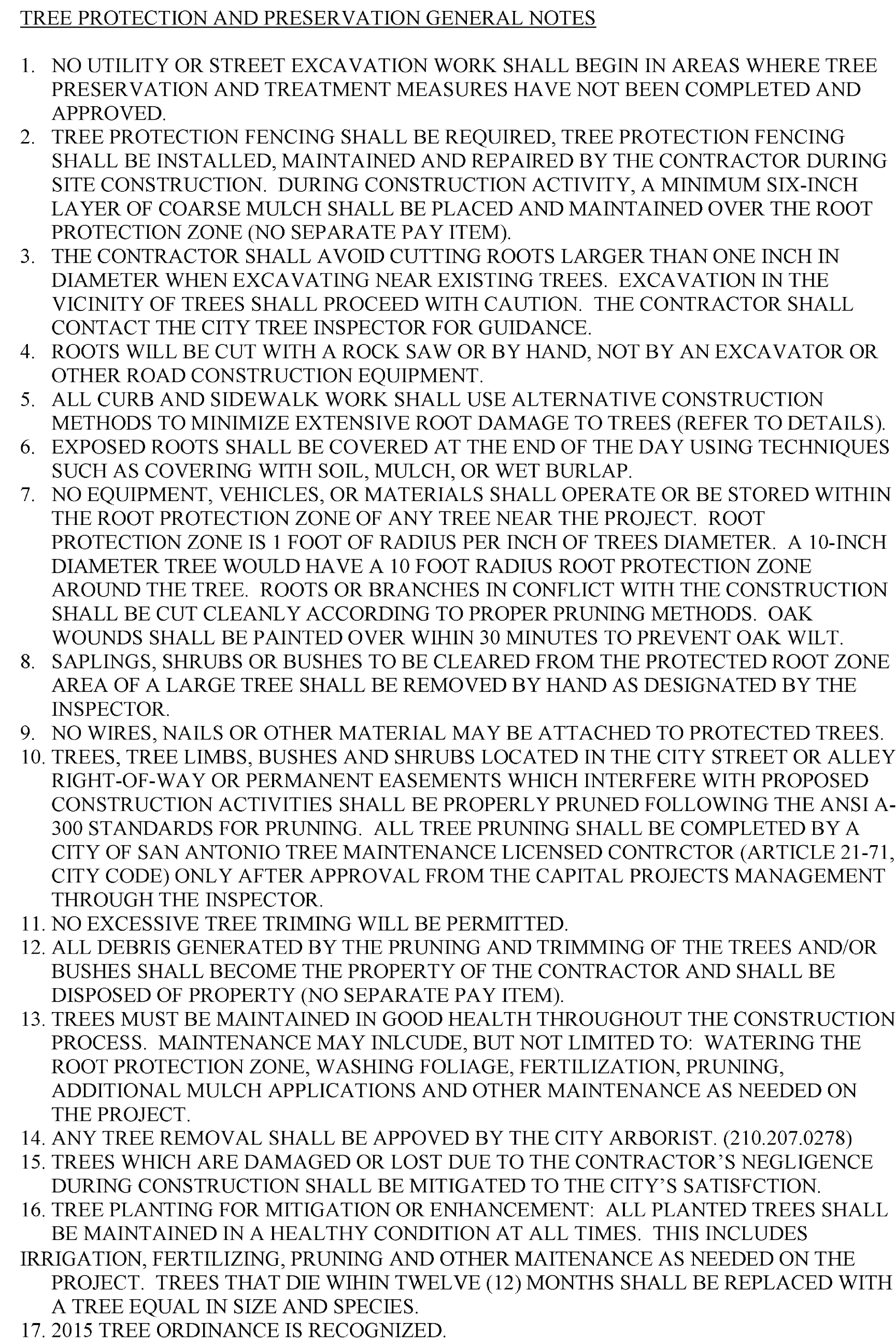
ARCHITECTURA SA, INC.  
17038 REDLAND ROAD, SUITE 401,  
SAN ANTONIO, TEXAS 78247

255 BRAHAN BOULEVARD  
CONSTRUCTION DETAILS

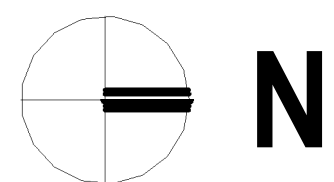
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DESIGNED BY: WPF  
DRAFTED BY: JWH  
CHECKED BY: NFU  
SHEET  
10  
OF 10





PREVIOUSLY APPROVED BY THE HDRC ON APRIL 7, 2021.


$$1/8'' = 1' - 0''$$


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AUSTIN, TX 78702  
TEL: 423.298.2224

**WEST FORT HOMES**  
255 BRAHAN BLVD. | SAN ANTONIO, TEXAS | 78215

**WEST FORT HO**  
2255 BRAHAN BLVD. | SAN ANTONIO, TEXAS | 78215

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AD 1720

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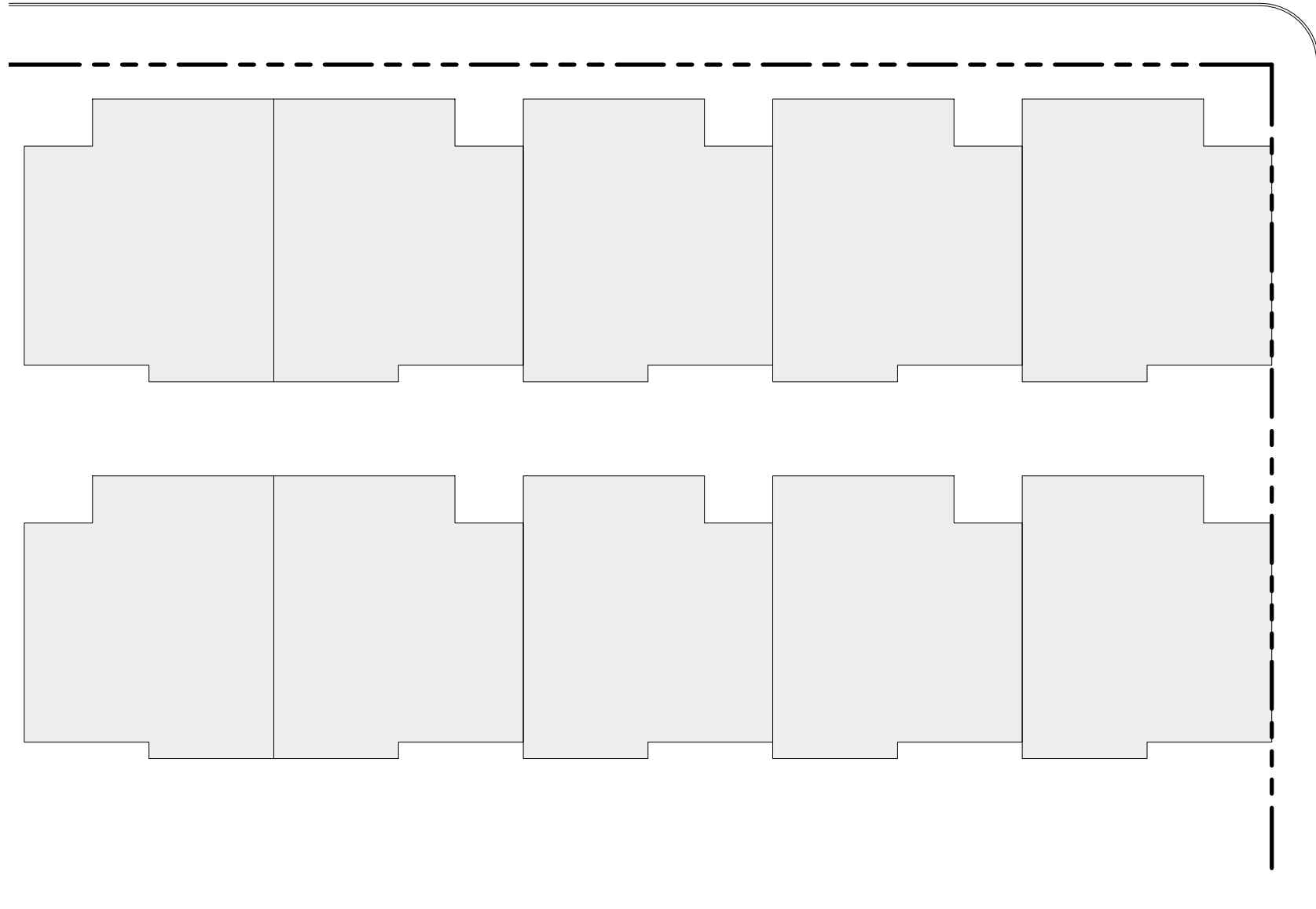
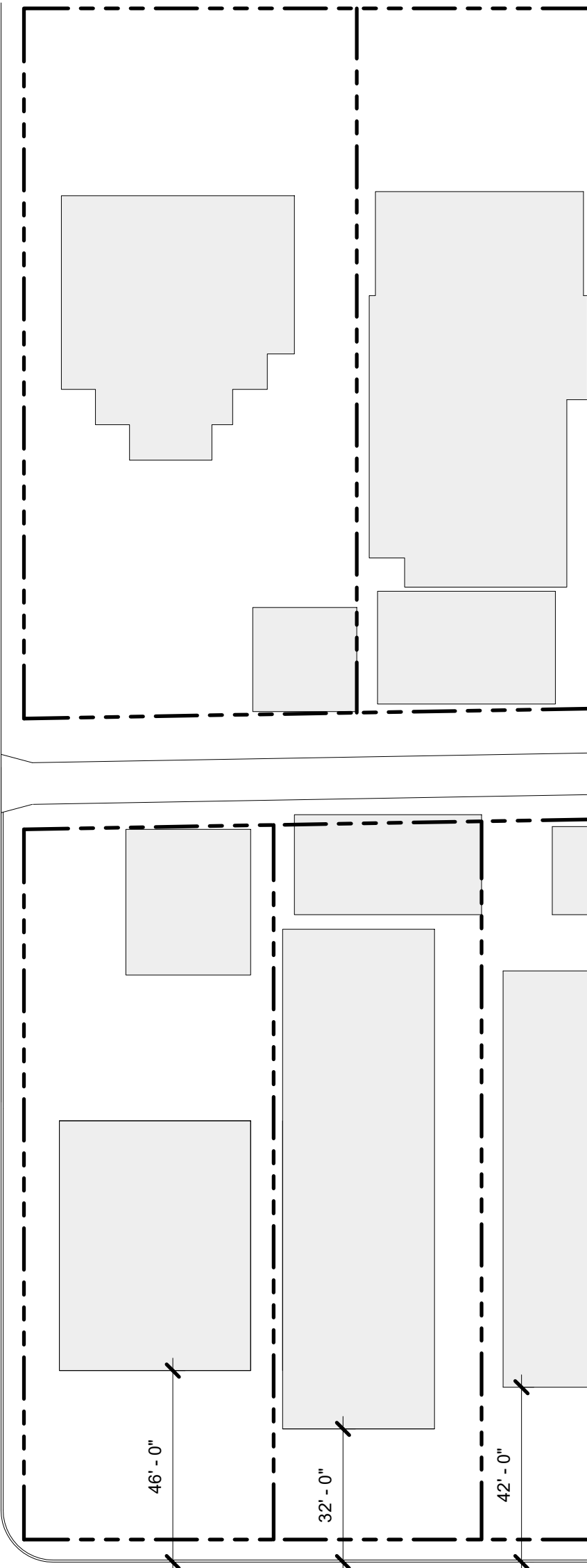
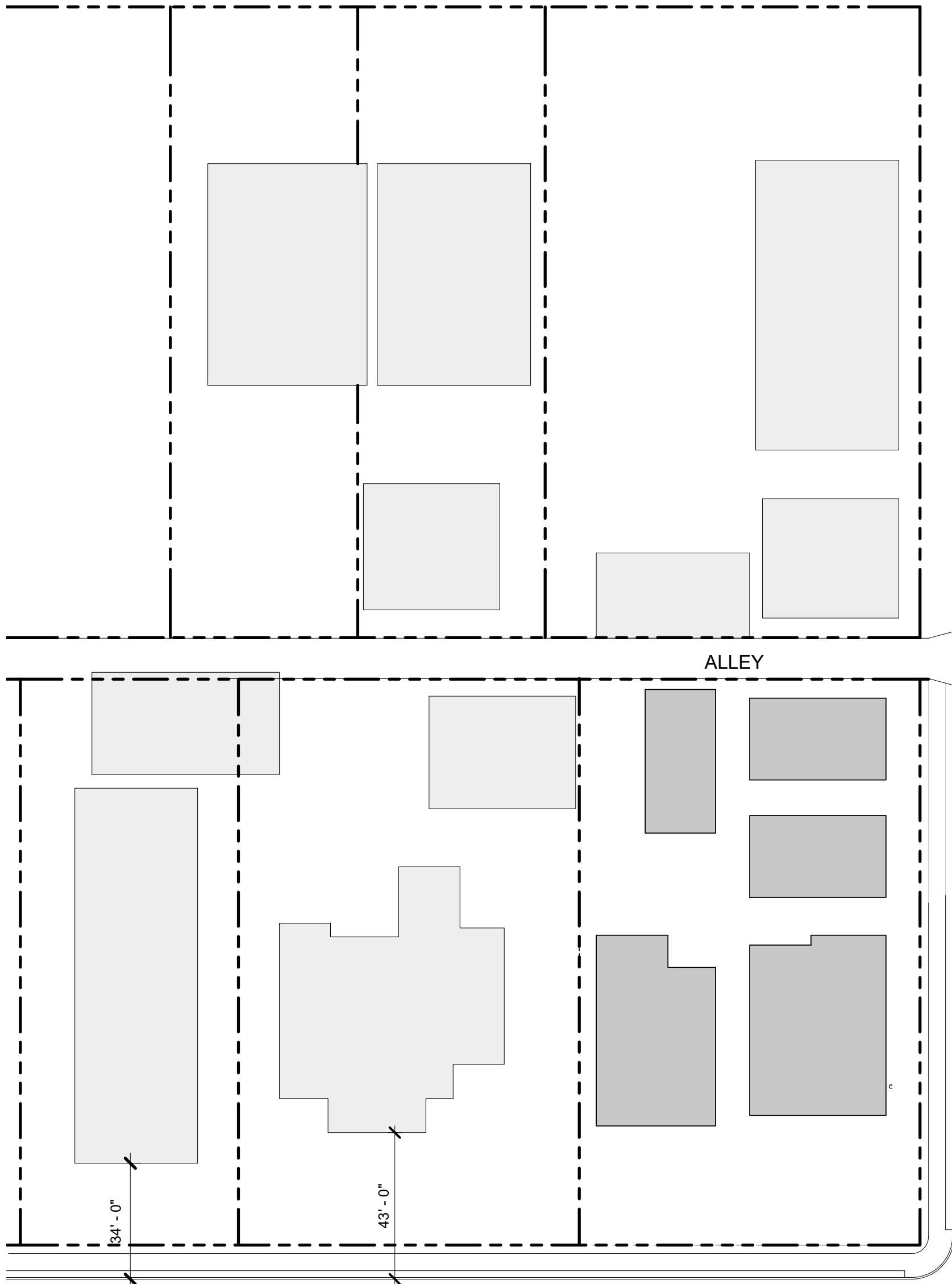
Four horizontal number lines are provided for graphing. Each line has two tick marks, but no numerical labels are present.

# A100

## CONCEPTUAL SITE PLAN



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① 100 - Site Plan NEIGHBORHOOD  
1/32" = 1'-0"

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SHEET INFORMATION

**A101**

DRAWING TITLE:

**NEIGHBORHOOD  
PLAN**

**Second Floor Plan**

**Overall Dimensions:**

- Overall Width: 34' - 11"
- Overall Depth: 44' - 4"

**Room Details and Dimensions:**

- Covered Porch:** 11' - 8 3/4" (left side), 8' - 0" (width), 3' - 0" (width of stairs).
- Family Room:** 12' - 9 1/2" (width), 6' - 0" (width of deck area).
- Covered Deck:** 6' - 0" (width).
- Laundry Room:** 6' - 6" (width), includes a mechanical room (MECH) and stairs (DN).
- Bathroom (Top Right):** 11' - 5 1/2" (width), 6' - 0" (width), includes a toilet and sink.
- Bathroom (Bottom Right):** 11' - 1 1/2" (width), 5' - 3 1/2" (width), includes a toilet and sink.

**Other Features:**

- Stairs (DN) located in the laundry room area.
- Various door and window openings with dimensions (e.g., 0' - 6", 1' - 9", 2' - 3").

Architectural floor plan showing the layout of a 2-car garage, dining room, office, and covered porch. The plan includes dimensions for rooms and overall sections, as well as room labels and structural notes.

**Rooms and Dimensions:**

- 2-CAR GARAGE:** 21' - 1" (width) x 13' - 10" (depth). Includes a staircase.
- DINING ROOM:** 10' - 3 1/2" (width) x 8' - 2" (depth). Includes a toilet.
- OFFICE:** 10' - 6" (width) x 8' - 0" (depth).
- COVERED PORCH:** 5' - 0 1/2" (width) x 18' - 11" (depth).
- COVERED PATIO:** 7' - 1 1/2" (width) x 9' - 6" (depth).

**Overall Dimensions:**

- Overall Width:** 55' - 11 1/2"
- Overall Depth:** 41' - 5"

**Structural Notes:**

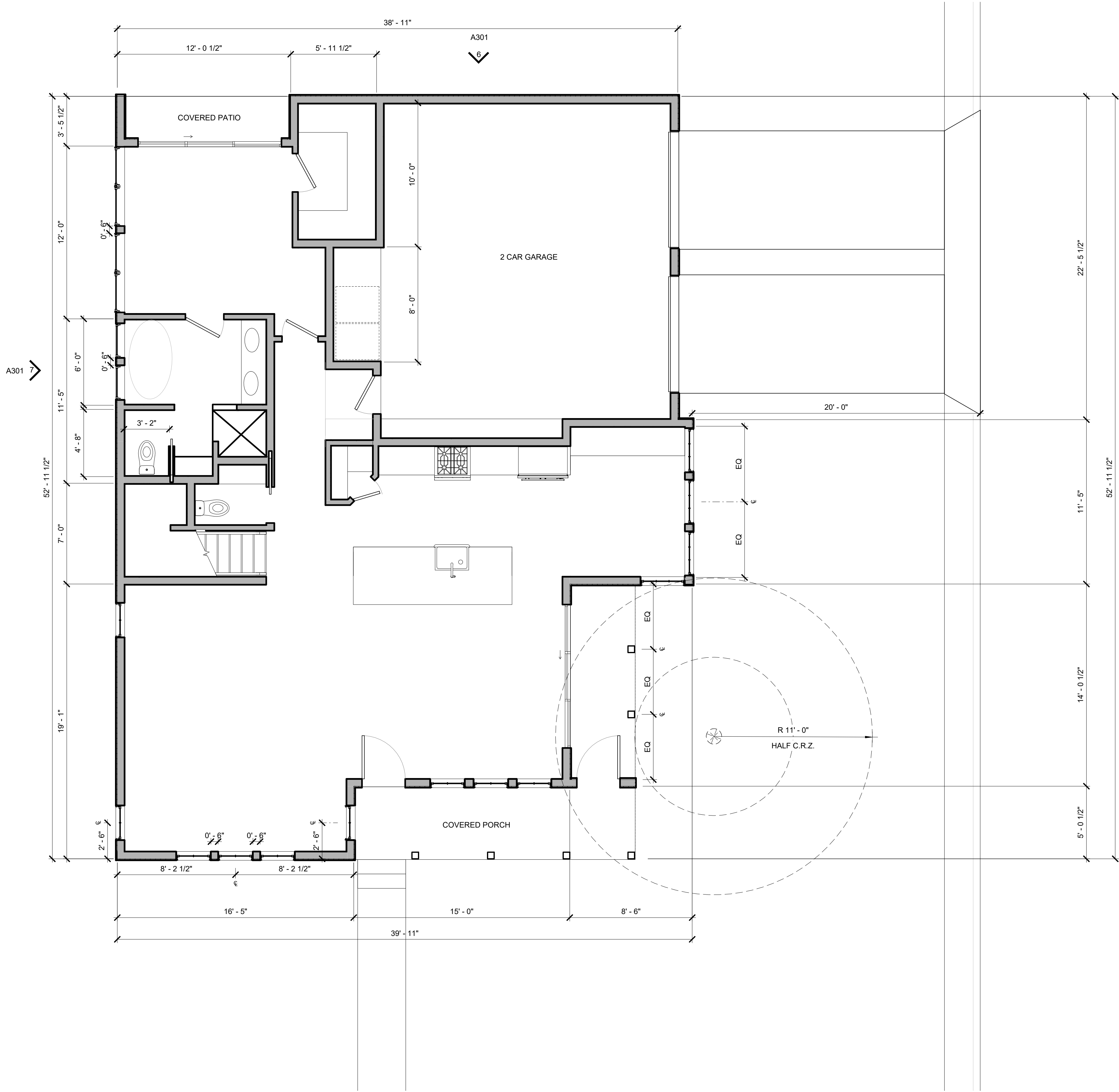
- EQ (Equalizer) is indicated at several locations along the walls.
- 0' - 6" (6 inches) is indicated for specific wall thicknesses or offsets.

DRAWING TITLE:

**UNIT A FLOOR  
PLANS**

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① UNIT B - 1F  
1/4" = 1'-0"



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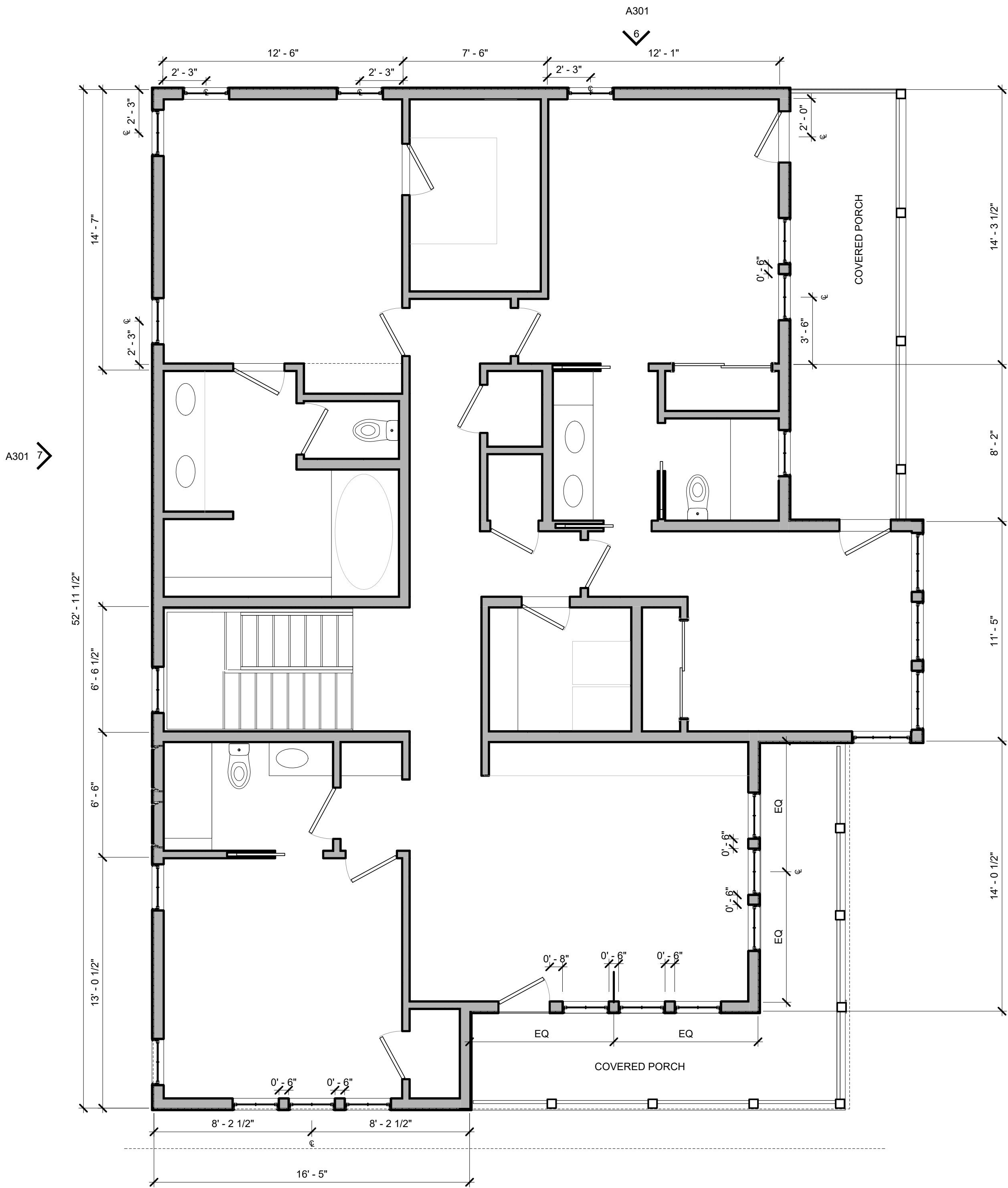
SHEET INFORMATION

**A121**

DRAWING TITLE:  
**UNIT B - GF**



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① UNIT B - 2F  
1/4" = 1'-0"

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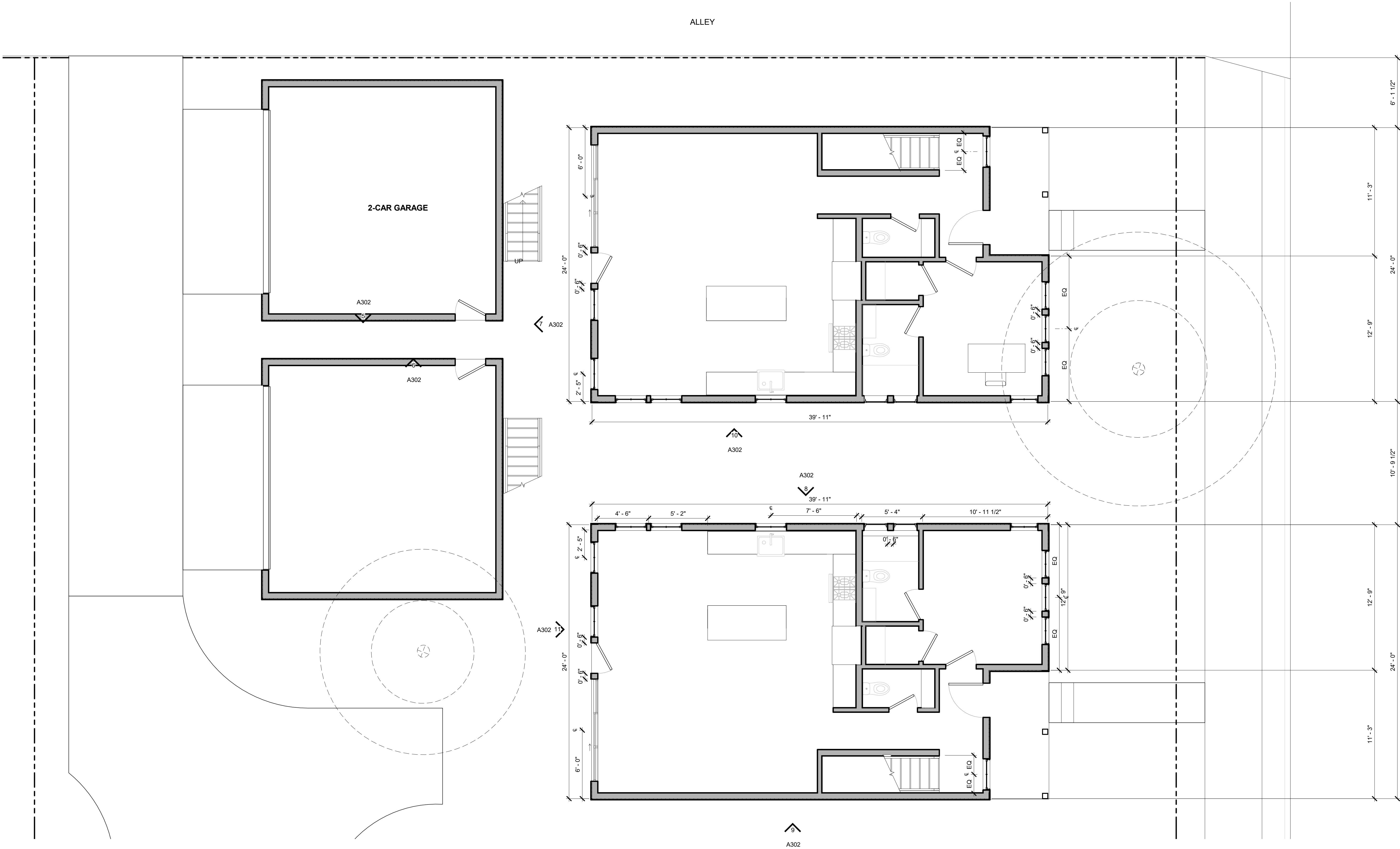
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**A122**

DRAWING TITLE:  
**UNIT B - 2F**

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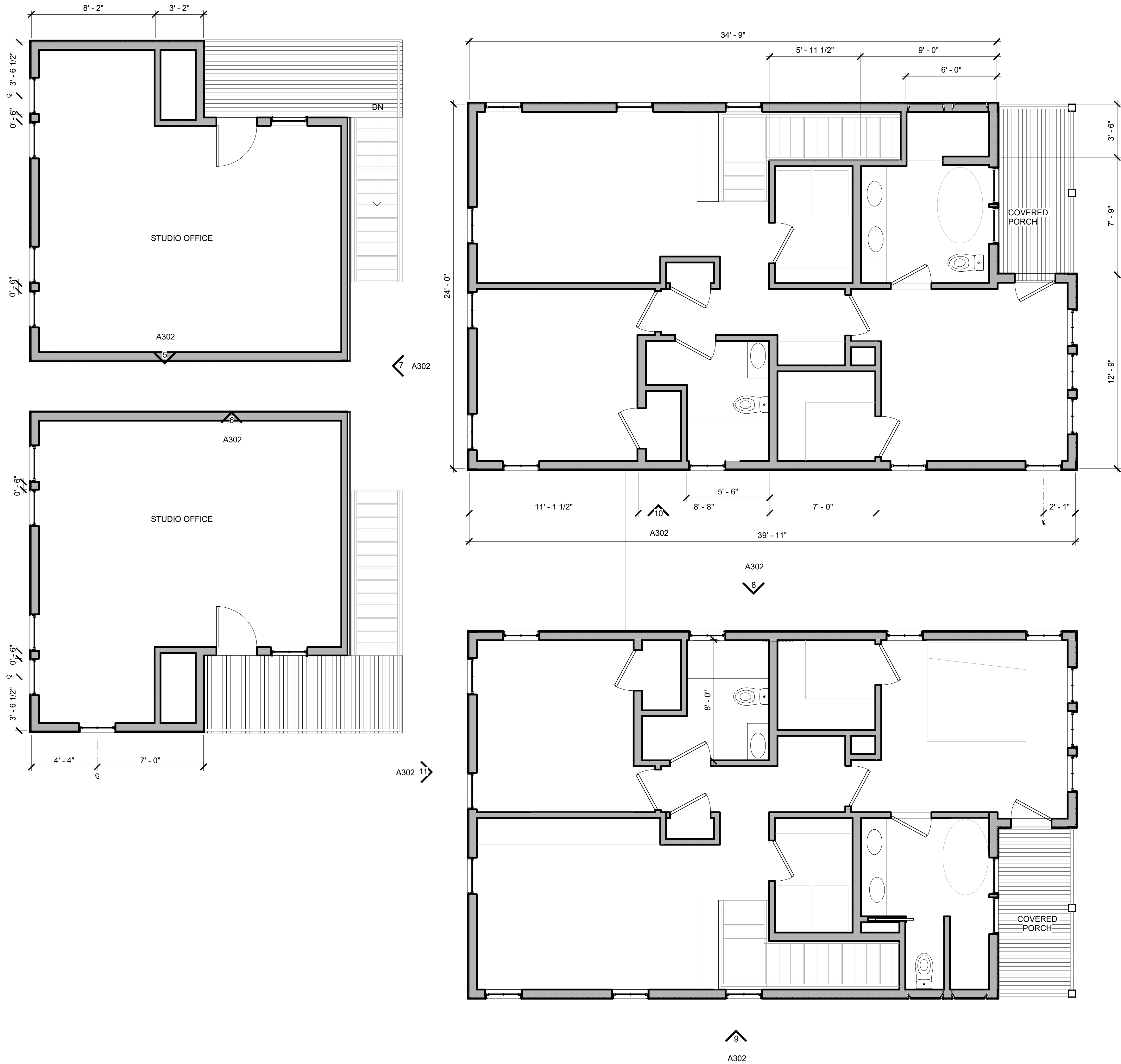
REVISIONS:


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**A131**

DRAWING TITLE:  
**UNITS C,D  
GROUND FLOOR**

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**3/19/21**

REVISIONS:

NO.	DESCRIPTION	DATE

**A132**

DRAWING TITLE:  
**2F PLAN - HAYWOOD**

PREVIOUSLY APPROVED BY THE HDRC ON APRIL 7, 2021.



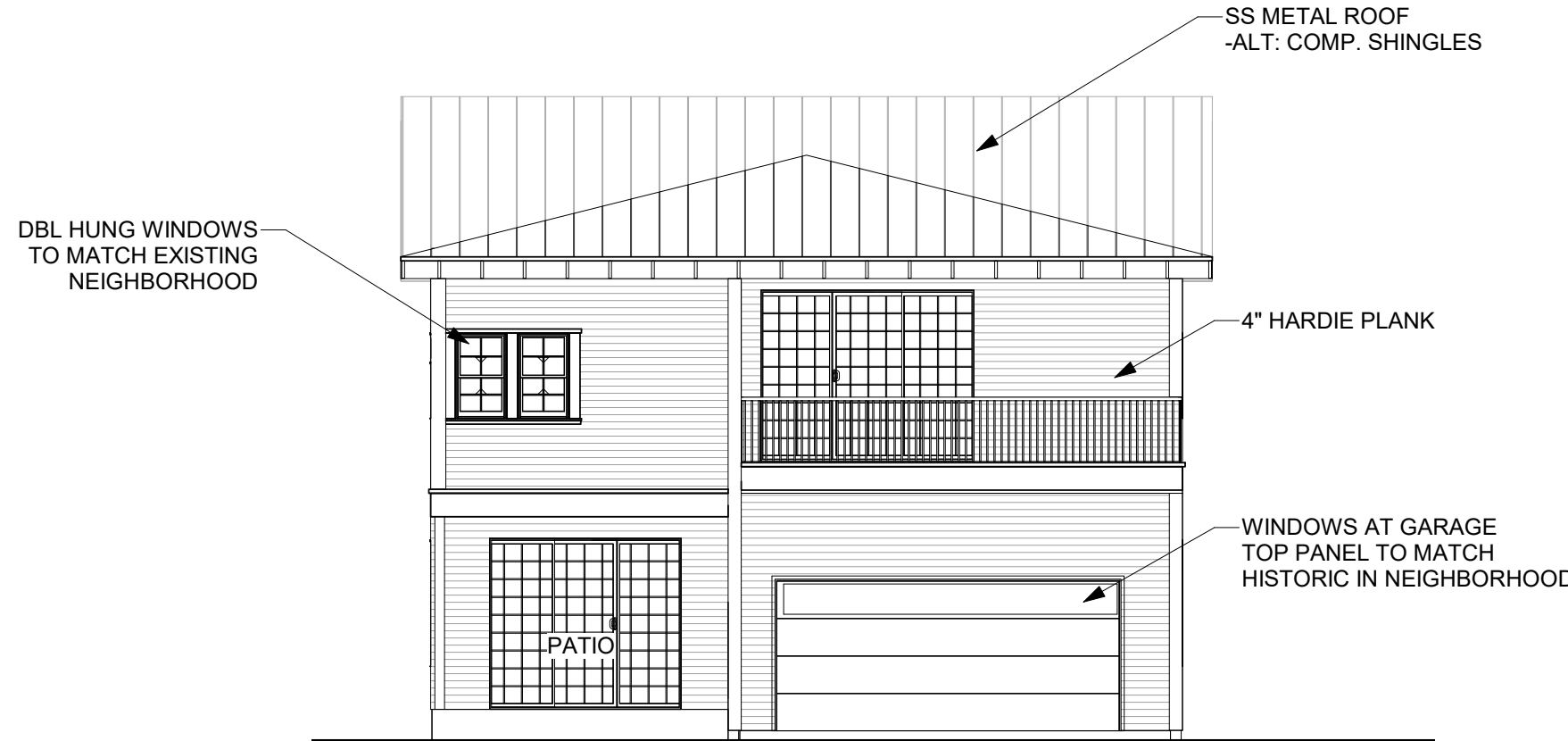
③ UNIT A - EAST  
1/8" = 1'-0"



④ West  
1/8" = 1'-0"



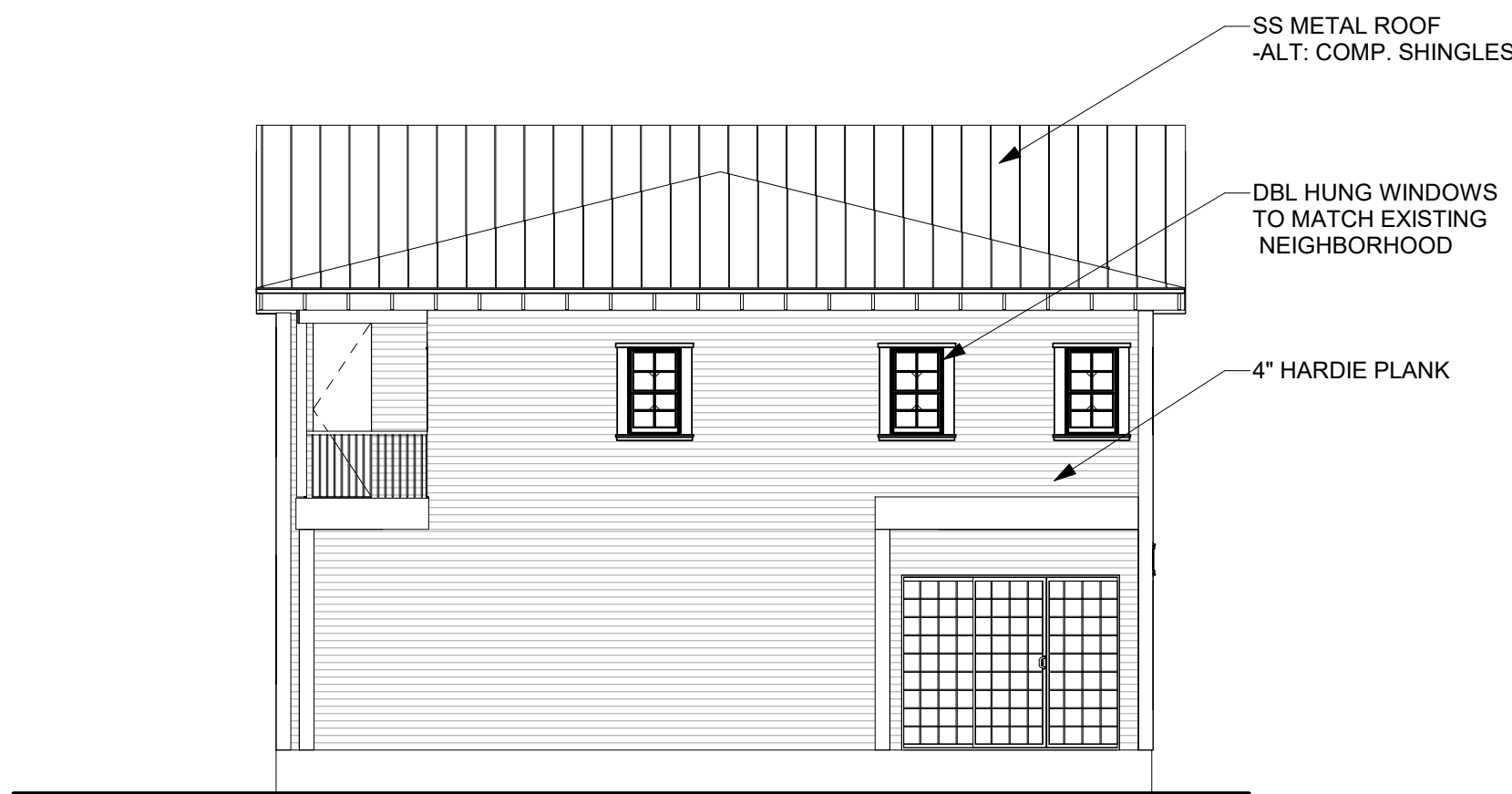
⑤ UNIT A - NORTH  
1/8" = 1'-0"



⑦ UNIT B - WEST  
1/8" = 1'-0"



② South  
1/8" = 1'-0"



⑥ UNIT B - NORTH  
1/8" = 1'-0"



① East  
1/8" = 1'-0"

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PROJECT TITLE

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PROJECT NUMBER:

AD 1720

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REVISIONS:


SHEET INFORMATION

A301

DRAWING TITLE:

ELEVATIONS

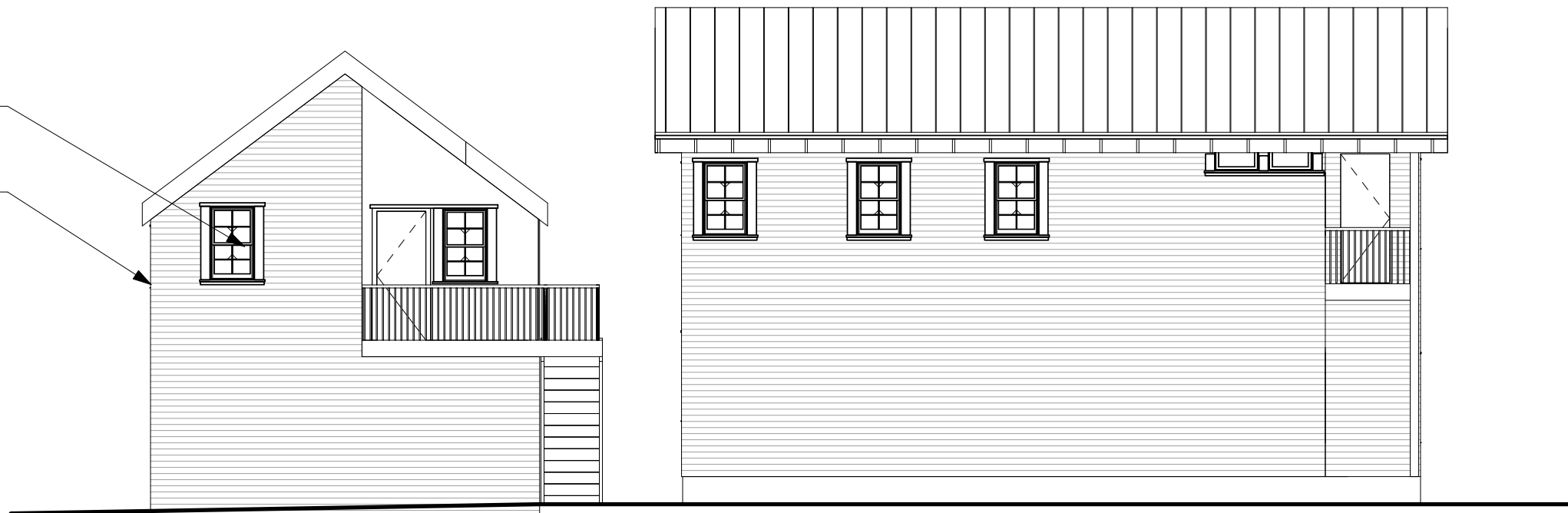


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SS METAL ROOF  
-ALT: COMP. SHINGLES

DBL HUNG WINDOWS  
TO MATCH EXISTING  
NEIGHBORHOOD

4" HARDIE PLANK



9 UNIT C - SOUTH  
1/8" = 1'-0"

DBL HUNG WINDOWS  
TO MATCH EXISTING  
NEIGHBORHOOD

SS METAL ROOF  
-ALT: COMP. SHINGLES

4" HARDIE PLANK

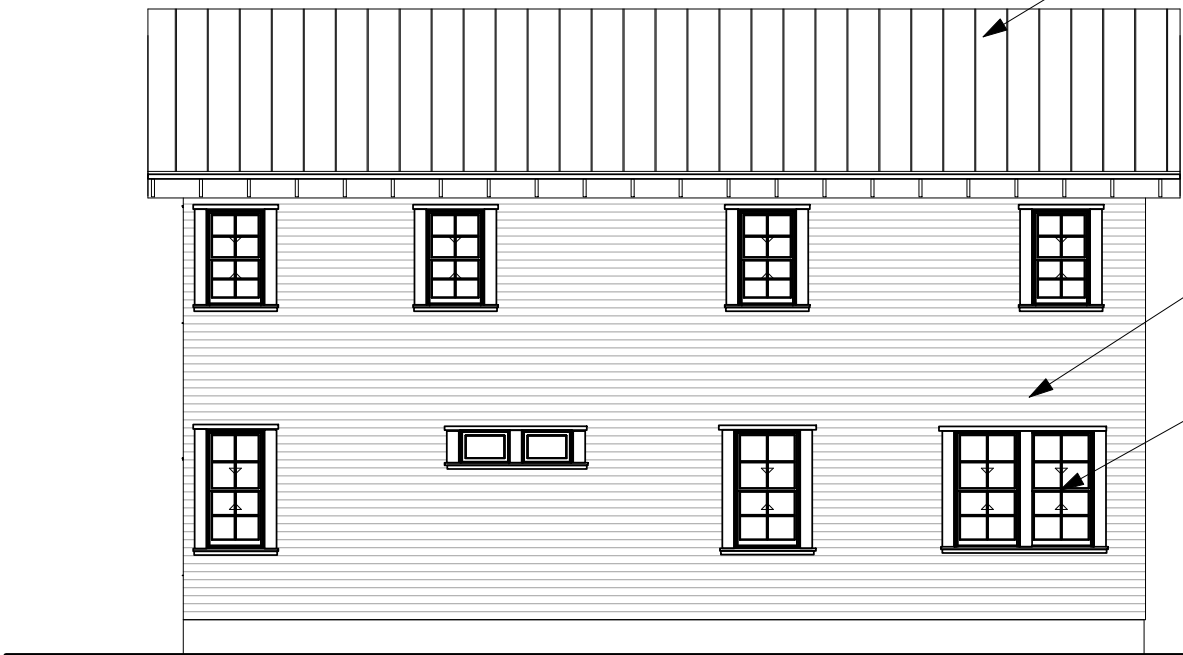


12 North  
1/8" = 1'-0"

SS METAL ROOF  
-ALT: COMP. SHINGLES

4" HARDIE PLANK

DBL HUNG WINDOWS  
TO MATCH EXISTING  
NEIGHBORHOOD



8 UNIT C - NORTH  
1/8" = 1'-0"

SS METAL ROOF  
-ALT: COMP. SHINGLES

DBL HUNG WINDOWS  
TO MATCH EXISTING  
NEIGHBORHOOD

4" HARDIE PLANK



10 UNIT D - SOUTH  
1/8" = 1'-0"

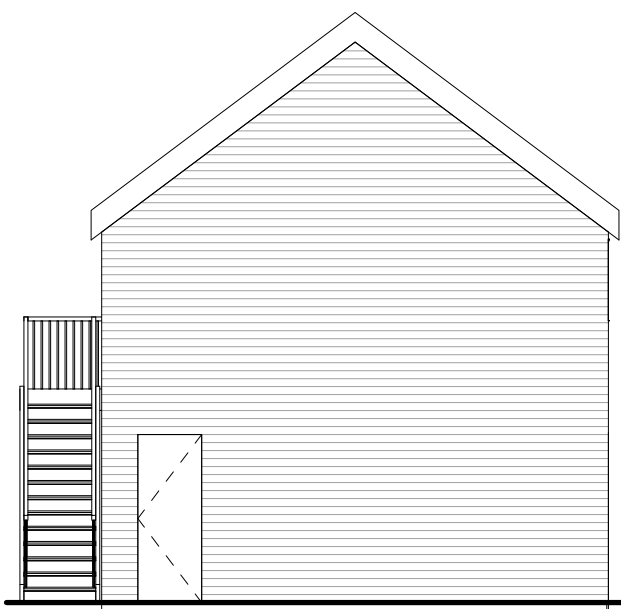
SS METAL ROOF  
-ALT: COMP. SHINGLES

DBL HUNG WINDOWS  
TO MATCH EXISTING  
NEIGHBORHOOD

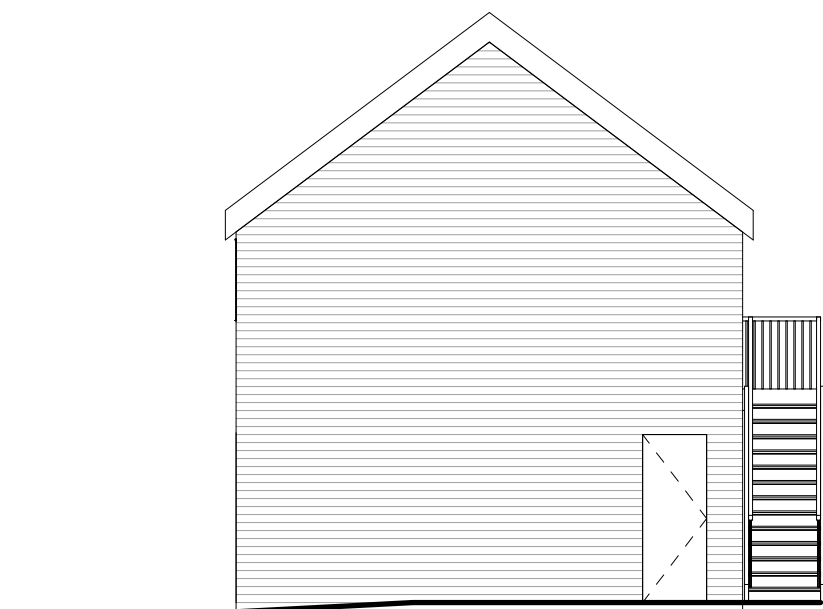
4" HARDIE PLANK



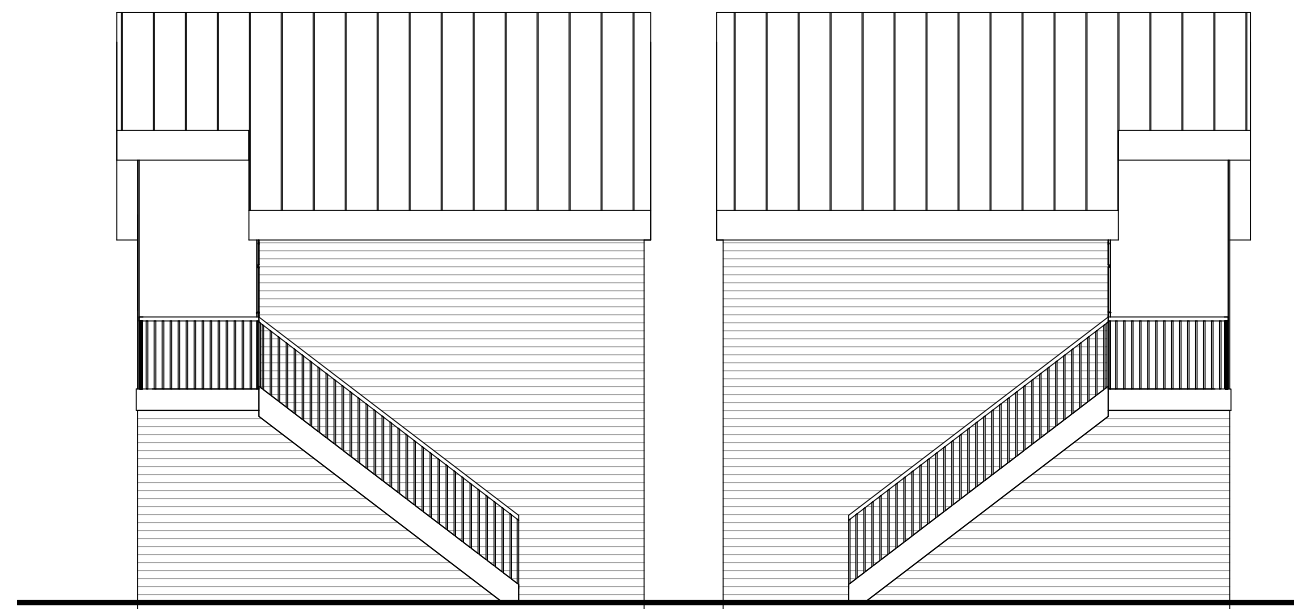
11 UNITS C,D WEST  
1/8" = 1'-0"



5 GARAGE C - NORTH  
1/8" = 1'-0"



6 GARAGE D - SOUTH  
1/8" = 1'-0"



7 GARAGES C,D - EAST  
1/8" = 1'-0"

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SHEET INFORMATION

A302

DRAWING TITLE:

ELEVATIONS